

DESIGNED BY



MUNICIPAL CENTER RENOVATIONS
CITY OF ANN ARBOR
301 E HURON ST. ANN ARBOR, MI 48104

ISSUED FOR BIDS

CDG JOB NUMBER

19-107.AA

CLIENT ID NUMBER

-

ISSUED FOR

BIDS

ISSUE DATE

01/10/2020

BUILDING AND CODE INFORMATION

GOVERNING BUILDING CODE(s):

- 2015 MBC Michigan Building Code
ASHRAE / IESNA 90.1-2013
2015 Michigan Mechanical Code
2015 Michigan Plumbing Code
2014 NEC National Electrical Code
Michigan Electrical Code Rules Part 8
NFPA 101 Life Safety

USE GROUP & OCCUPANCY CLASSIFICATION:

B - BUSINESS

FIRE SUPPRESSION SYSTEM:

Fully Sprinkled and Monitored

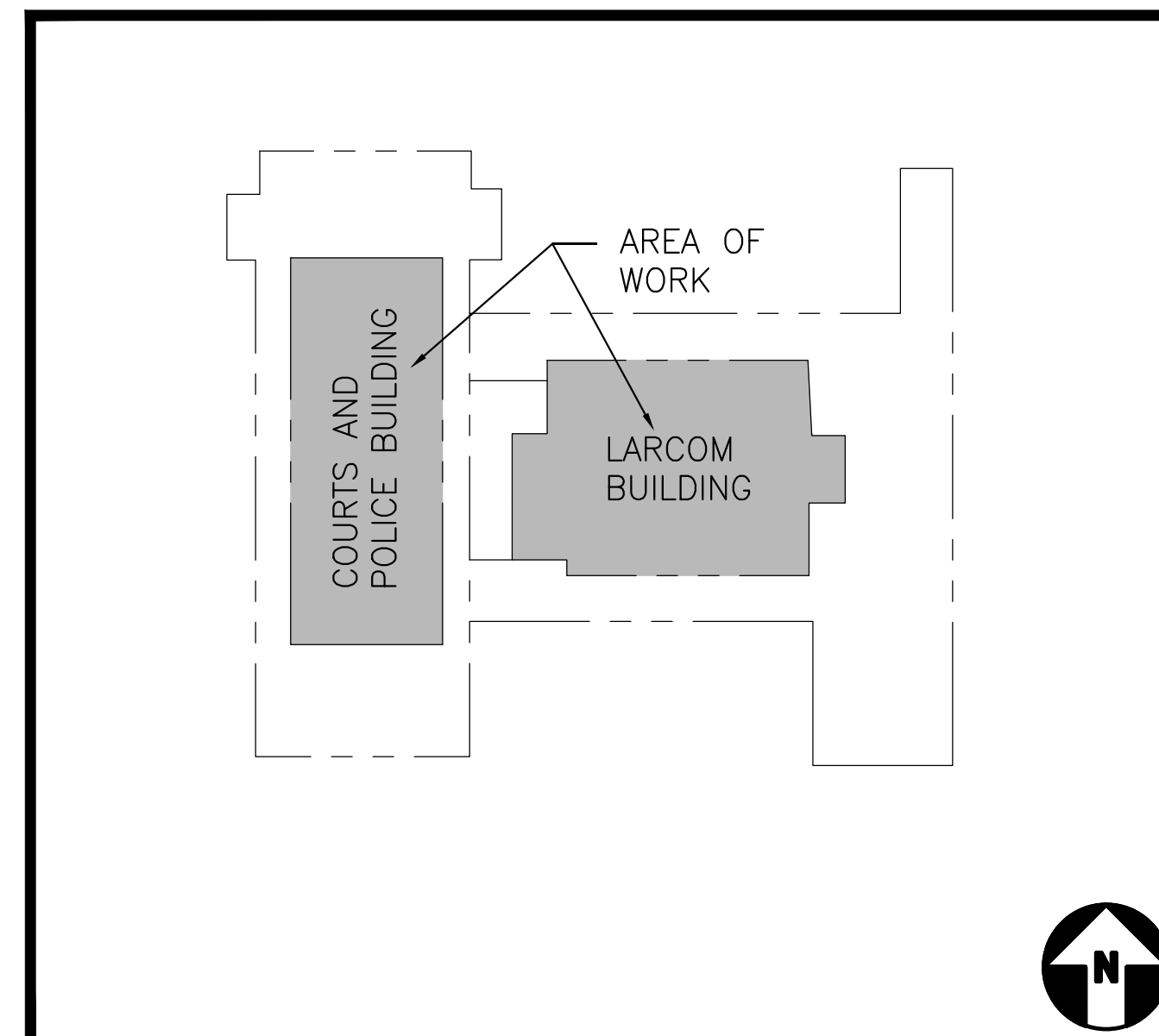
DRAWING INDEX

Table with columns: ISSUE NAME / DATE, SHEET NO., SHEET TITLE, REVIEW status. Includes legend: LEGEND, SHEET ISSUED, SHEET ISSUED AS NEW, SHEET ISSUED FOR REFERENCE ONLY.

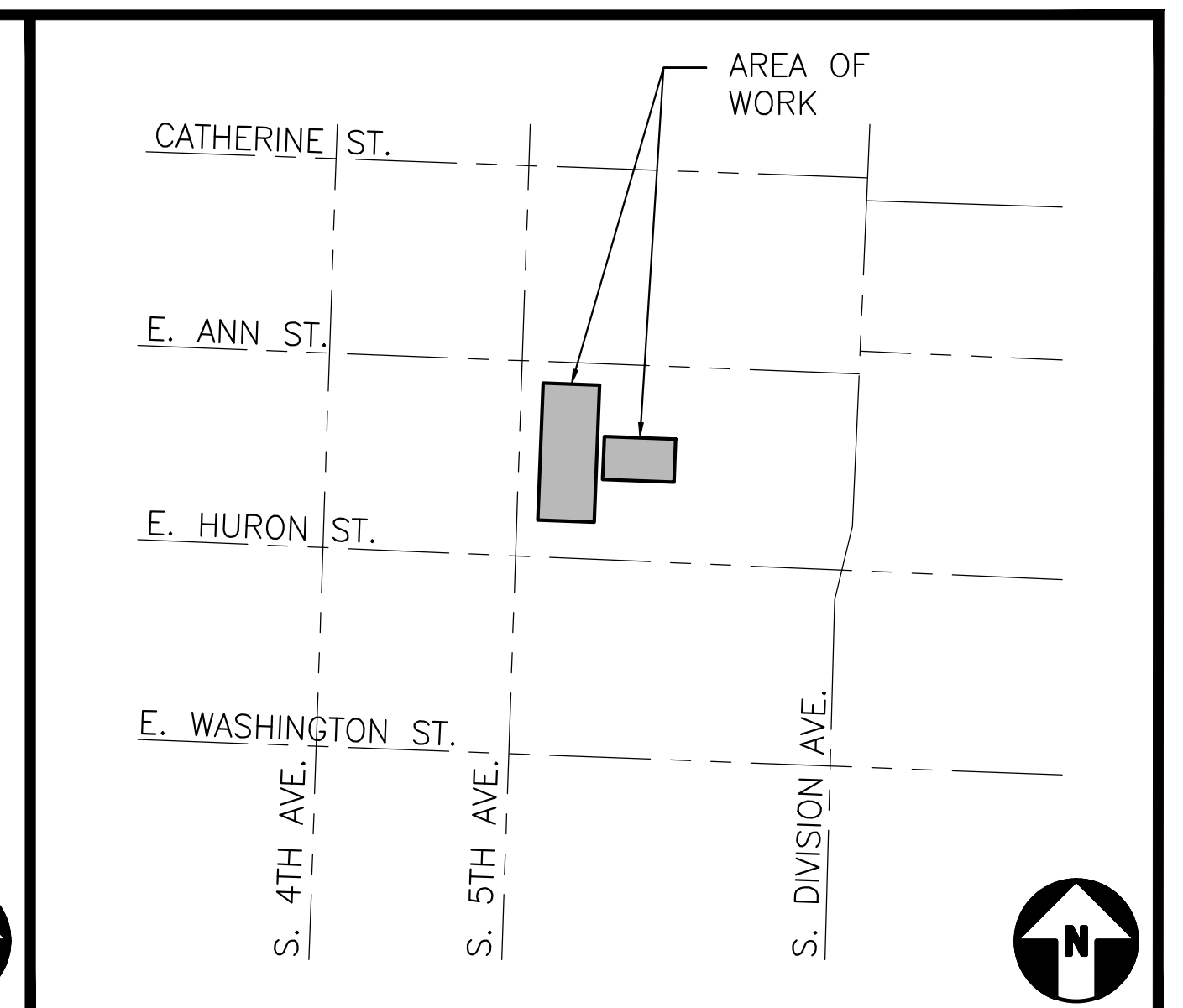
LEGEND

Legend and Abbreviations section containing symbols for Section or Detail Title, Section Cut, Elevation Designator, Professional Seal, Graphical Symbolology, and a comprehensive list of Common Abbreviations.

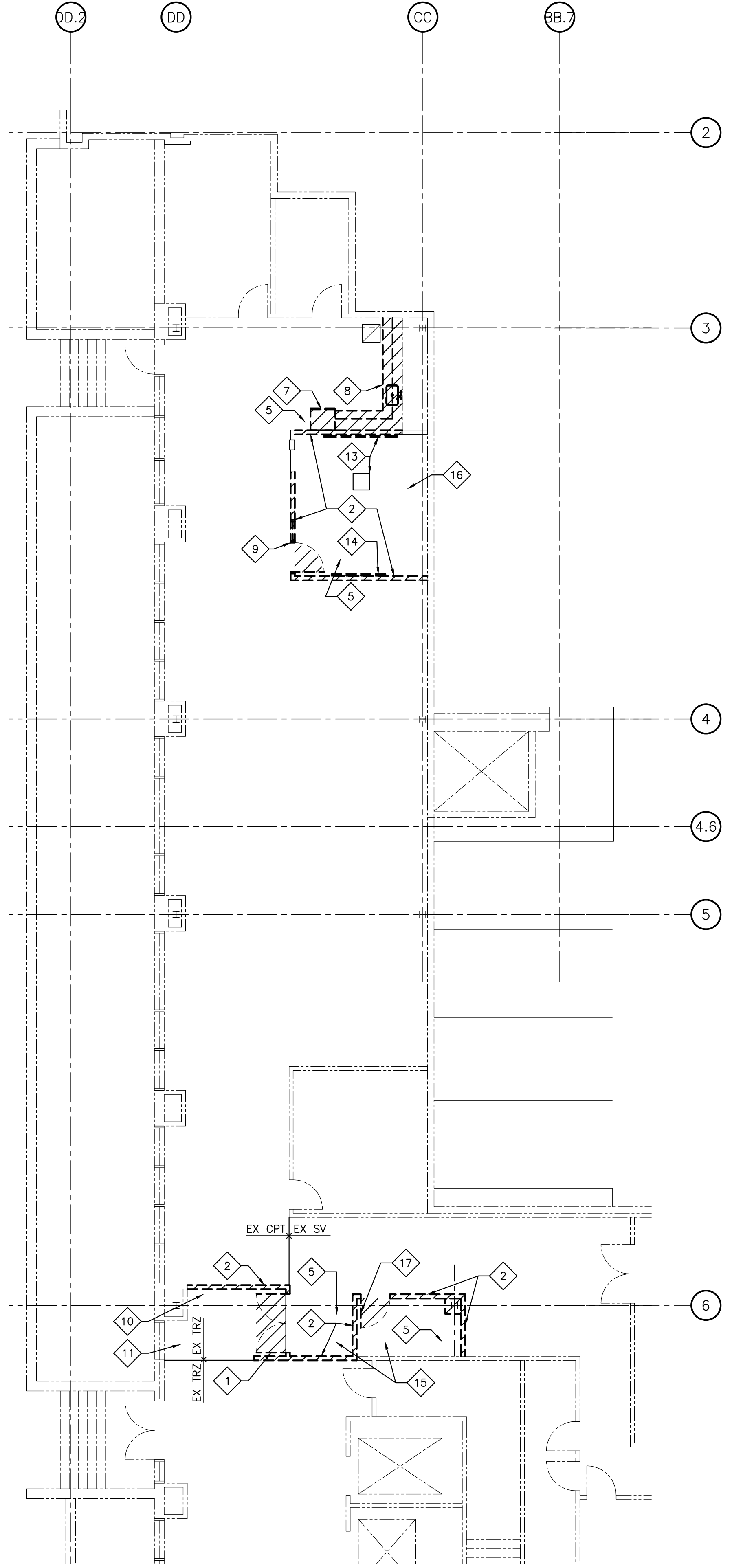
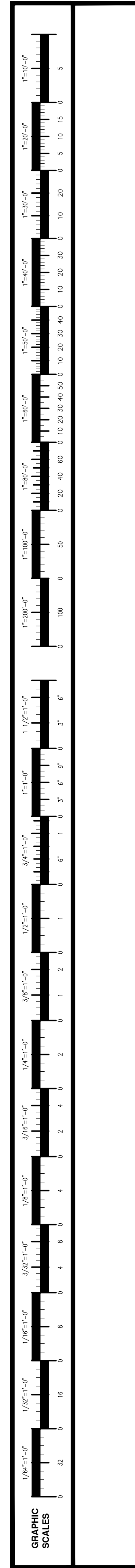
KEY PLAN



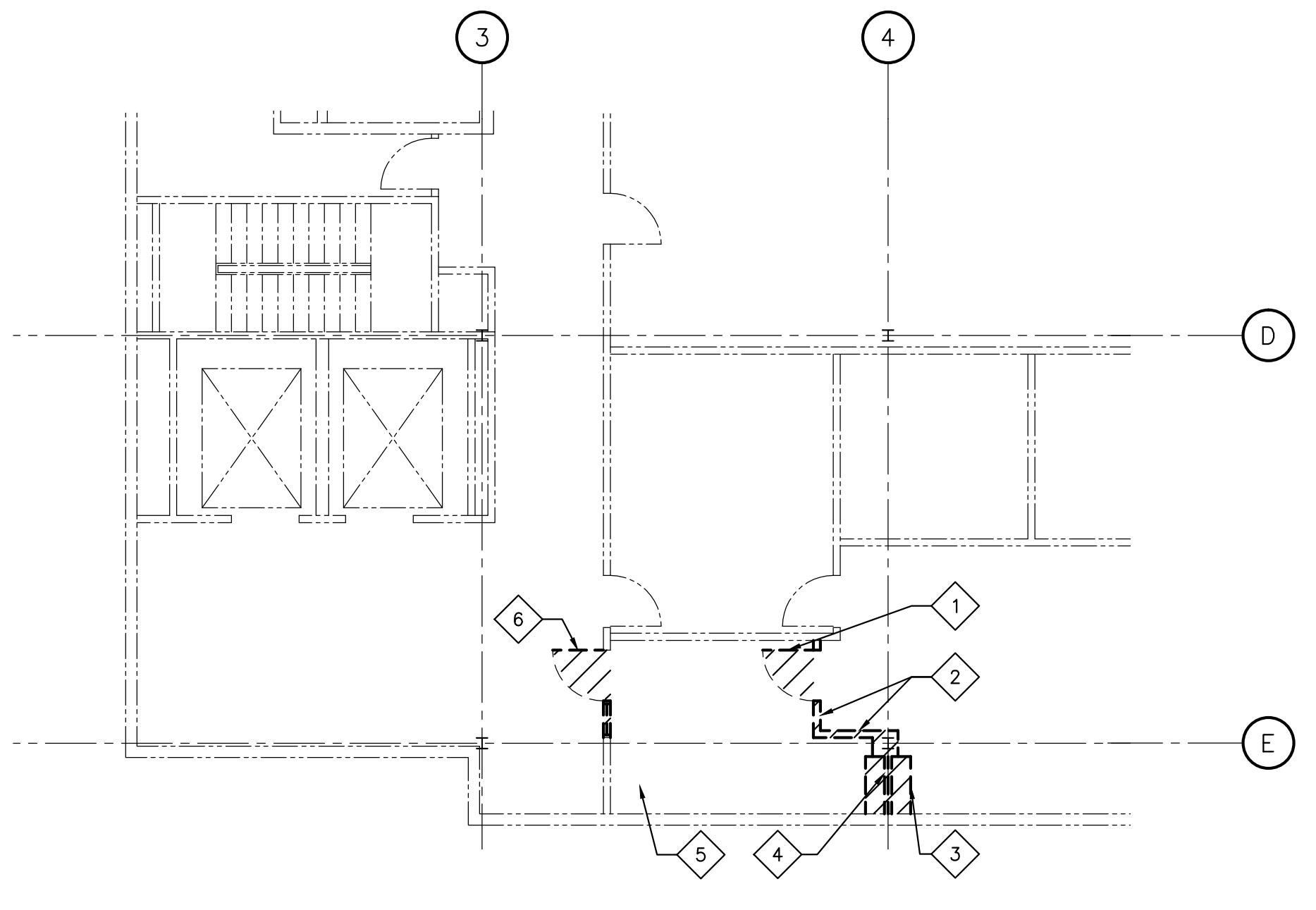
LOCATION PLAN



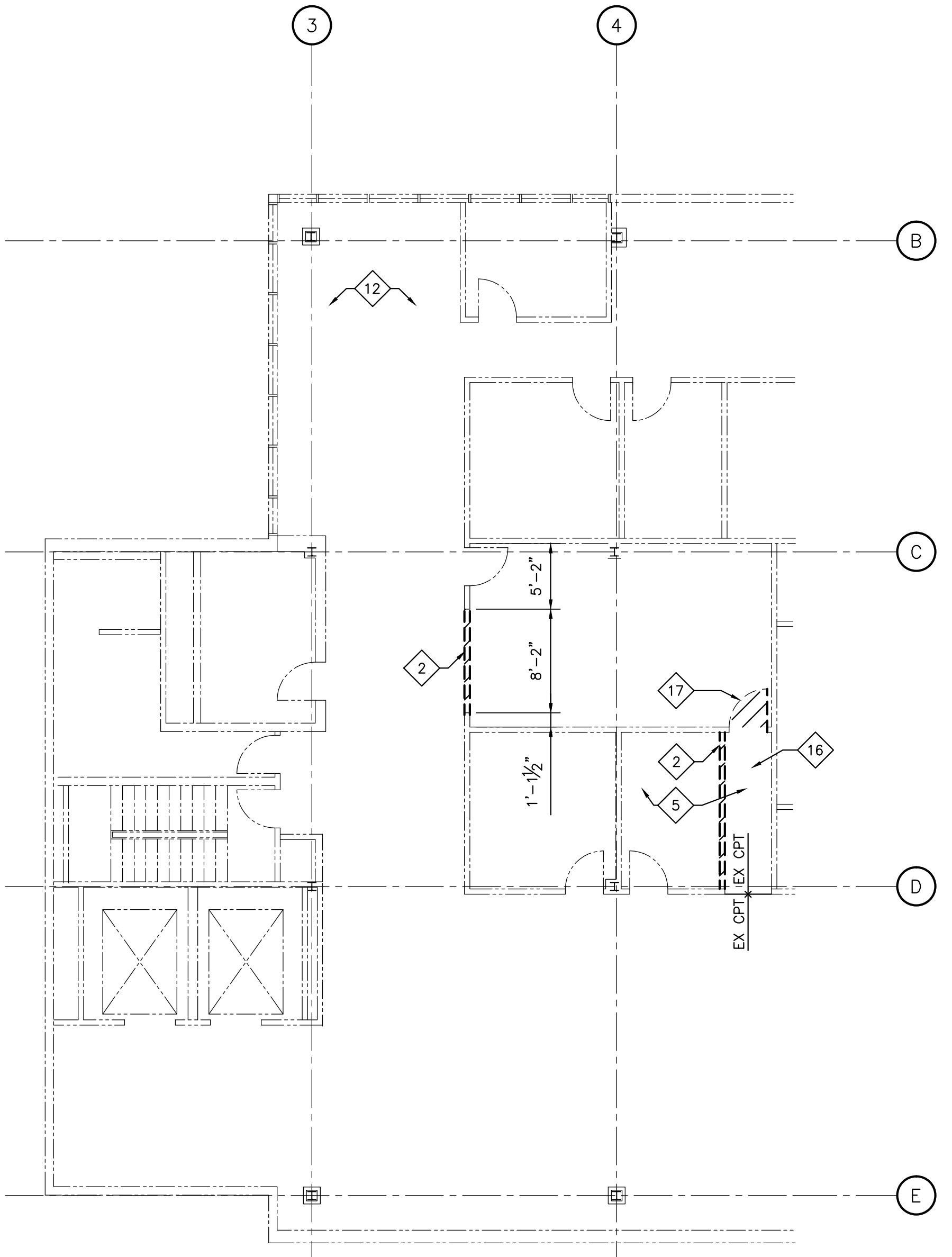
ISSUED FOR BIDS MUNICIPAL CENTER RENOVATIONS CORE Design Group, Inc.



1ST FLOOR COURT AND POLICE BUILDING SCALE: 1/8"=1'-0"



6TH FLOOR PLAN LARCOM BUILDING SCALE: 1/8"=1'-0"



5TH FLOOR PLAN LARCOM BUILDING SCALE: 1/8"=1'-0"

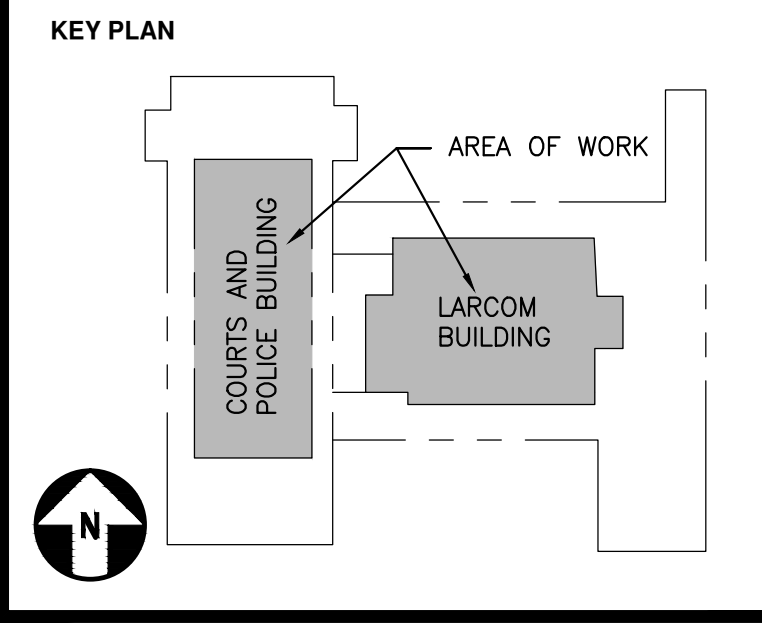
DEMOLITION NOTES

- 1 DOOR AND FRAME TO BE REMOVED AND SAVED FOR RELOCATION.
- 2 GYPSUM BOARD WALL ASSEMBLY TO BE REMOVED.
- 3 WINDOW AND MILLWORK TO BE REMOVED. SAVE FOR RELOCATION.
- 4 REMOVE MAIL SLOT AND SIGN AND SAVE FOR RELOCATION.
- 5 LAY-IN CEILING TO BE REMOVED.
- 6 DOOR, FRAME AND SIDELITE TO BE REMOVED.
- 7 REFRIGERATOR TO BE REMOVED AND RELOCATED.
- 8 UPPER AND LOWER CABINETS TO BE REMOVED AND REINSTALLED. COUNTER TO BE REMOVED, SHORTENED AND REPLACED. SINK TO BE RELOCATED. AS SEEN IN DETAIL 3/A-3 AND 4/A-3.
- 9 DOOR, FRAME AND SIDELITE TO BE REMOVED AND SAVED FOR RELOCATION.
- 10 GYPSUM BOARD CEILING TO BE REMOVED, GYPSUM BOARD SOFFIT AT EXTERIOR WALL TO REMAIN.
- 11 TERRAZZO (TRZ) FLOORING TO BE CLEAN AND PREPPED FOR CARPET INSTALLATION.
- 12 LAY-IN CEILING TO BE REMOVED AND REPLACED AS REQUIRED FOR CONSTRUCTION OF WALL.
- 13 PROJECTION SCREEN AND PROJECTOR TO BE REMOVED AND SAVED FOR RELOCATION.
- 14 WHITE BOARD TO BE REMOVED AND SAVED FOR RELOCATION.
- 15 SHEET VINYL FLOORING (SV) TO BE REMOVED TO MINIMIZE SEAMS FOR NEW SHEET VINYL INSTALLATION.
- 16 CARPET TILES TO BE REMOVED AND RETURNED TO OWNER FOR REUSE.
- 17 DOOR AND FRAME TO BE REMOVED.

GENERAL DEMOLITION NOTES:

1. ADDITIONAL WORK: CONTRACTOR SHALL IDENTIFY ANY MISCELLANEOUS UTILITIES, MANHOLES, PIPING, CONDUIT, OR EQUIPMENT NOT INDICATED ON THE DRAWINGS TO THE OWNER'S REPRESENTATIVE FOR DIRECTION PRIOR TO DEMOLITION WORK. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
2. CONCRETE REMOVAL: WET MATERIALS DURING BREAKING AND HANDLING OF DEMOLISHED CONCRETE TO MINIMIZE CREATION AND SPREAD OF DUST. SAWCUT, BREAK-UP, AND REMOVE EXISTING SLABS, WALLS, AND FOUNDATIONS AS SHOWN AND EXCAVATE TO THE SUBGRADE ELEVATIONS INDICATED. DISPOSE OF ALL EXCESS MATERIAL, TRASH, DEBRIS, AND WASTE OFF OF THE OWNER'S PROPERTY IN AN AUTHORIZED DISPOSAL SITE.
3. LIMITS OF WORK: ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DEMOLITION PLANS. DEMOLITION WORK MAY EXTEND PAST THE LIMITS OF WORK INDICATED ON THE DRAWINGS. COORDINATE WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS FOR ADDITIONAL WORK TO FACILITATE THE NEW CONSTRUCTION.
4. ITEMS TO BE REMOVED: REMOVE FLOOR SLABS, WALLS, DOORS, FRAMES, AND CONSTRUCTION, ETC. IN THEIR ENTIRETY UNLESS NOTED OTHERWISE.
5. UTILITY SHUTDOWNS: ALL UTILITY SHUTDOWNS ARE TO BE COORDINATED WITH THE OWNER. ALL UTILITY SHUTDOWNS ARE TO BE PERFORMED ON SECOND SHIFT OR SATURDAY. A MINIMUM OF (3) WEEKS NOTICE MUST BE GIVEN TO OWNER PRIOR TO THE PROPOSED SHUTDOWN.

| ISSUED DATE: |  | ISSUED FOR: |  |
|--------------|--|-------------|--|
| 12/19/19     |  | REVIEW      |  |
| 01/10/2020   |  | BIDS        |  |



PROFESSIONAL SEAL:

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Architecture / Engineering  
37740 Hills Tech Drive  
Farmington Hills, Michigan 48331  
Tel: 248.491.3234 / www.COREdg.net

CLIENT:

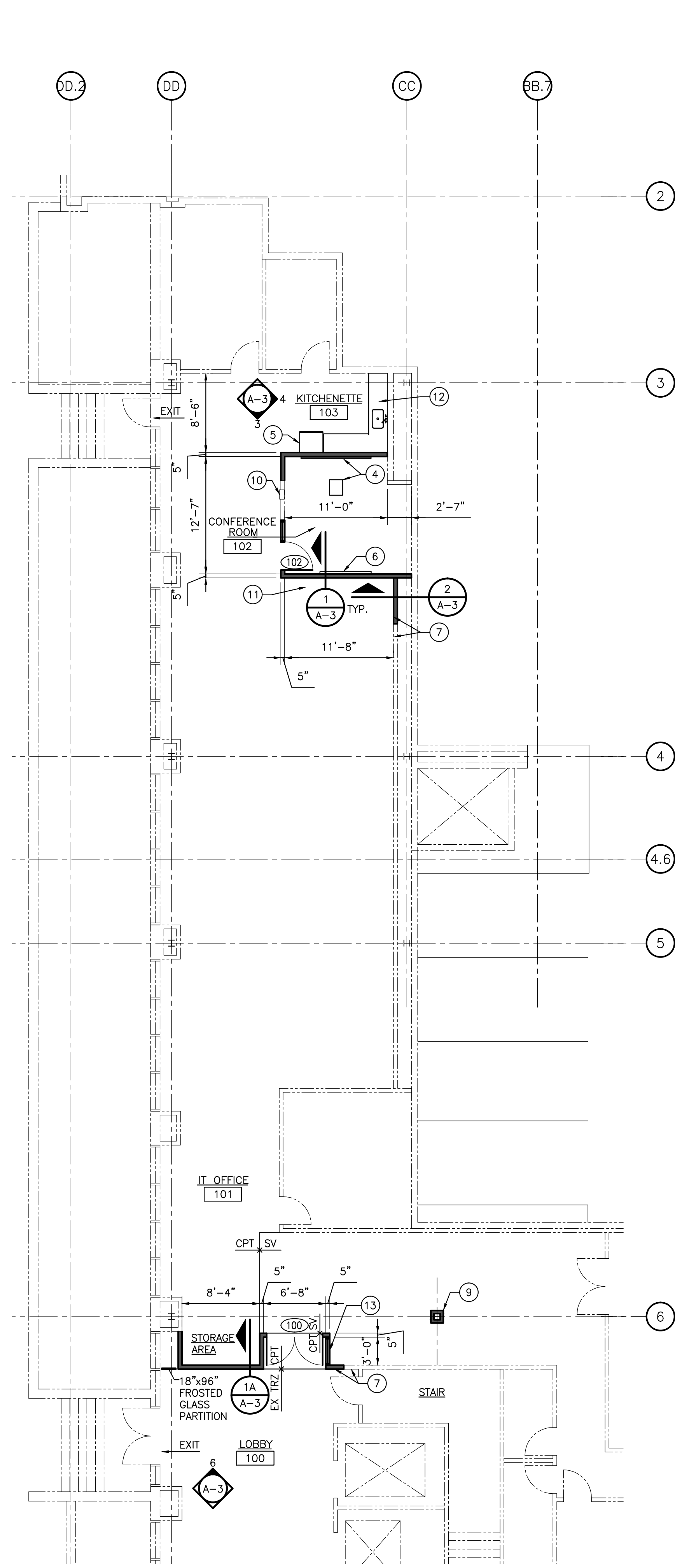
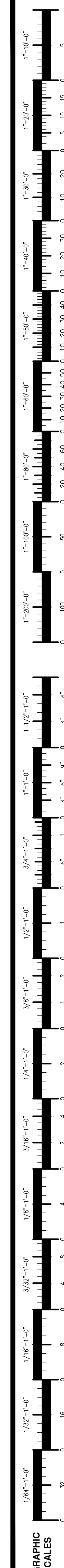
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ANN ARBOR, MI 48104

PROJECT TITLE:  
CITY OF ANN ARBOR  
MUNICIPAL CENTER  
RENOVATIONS

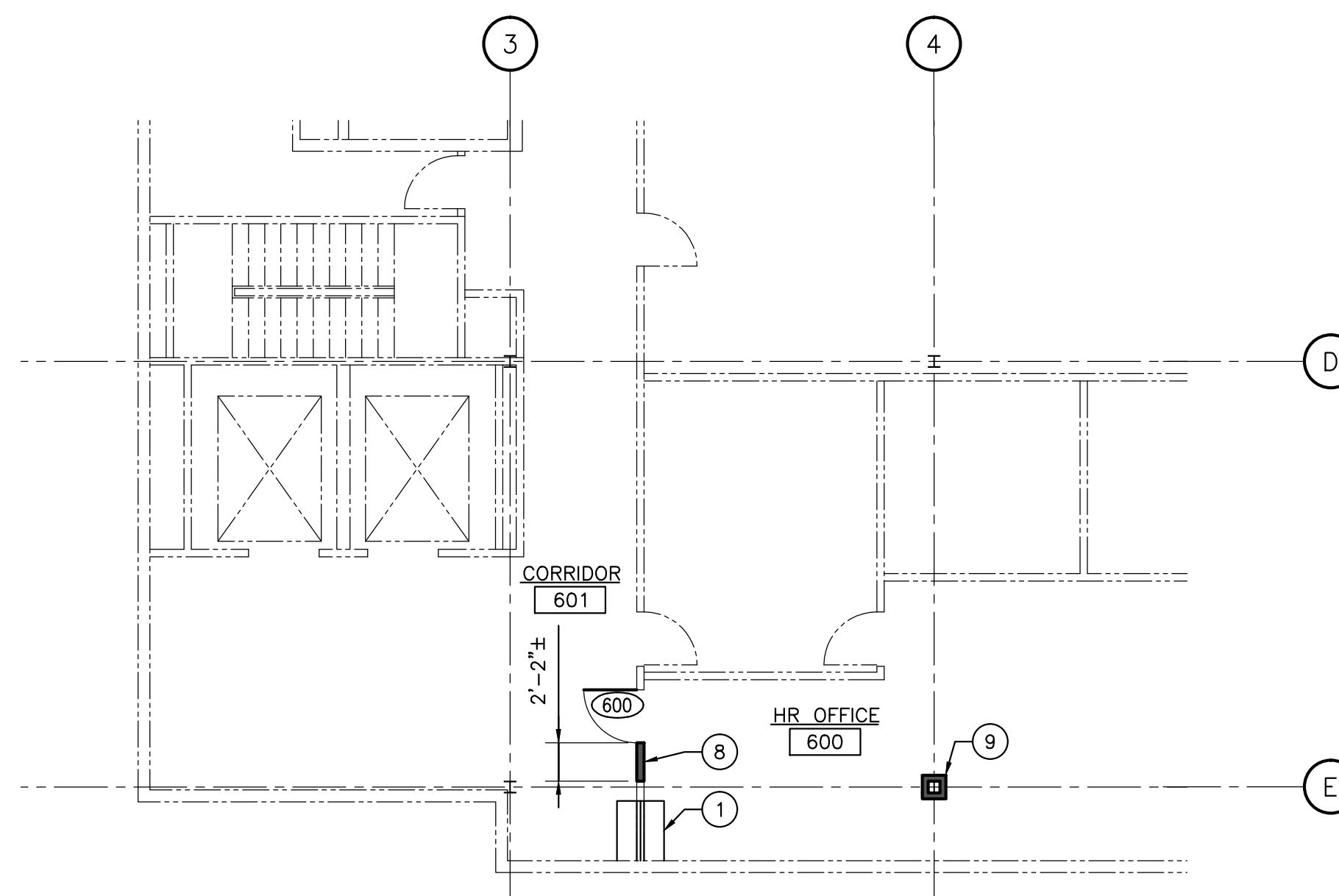
SHEET TITLE:  
DEMOLITION PLAN

|              |            |
|--------------|------------|
| DESIGNED BY: | D.ISENOGLE |
| DRAWN BY:    | D.ISENOGLE |
| CHECKED BY:  | J.RITCHIE  |
| JOB No.:     | 19-107.AA  |

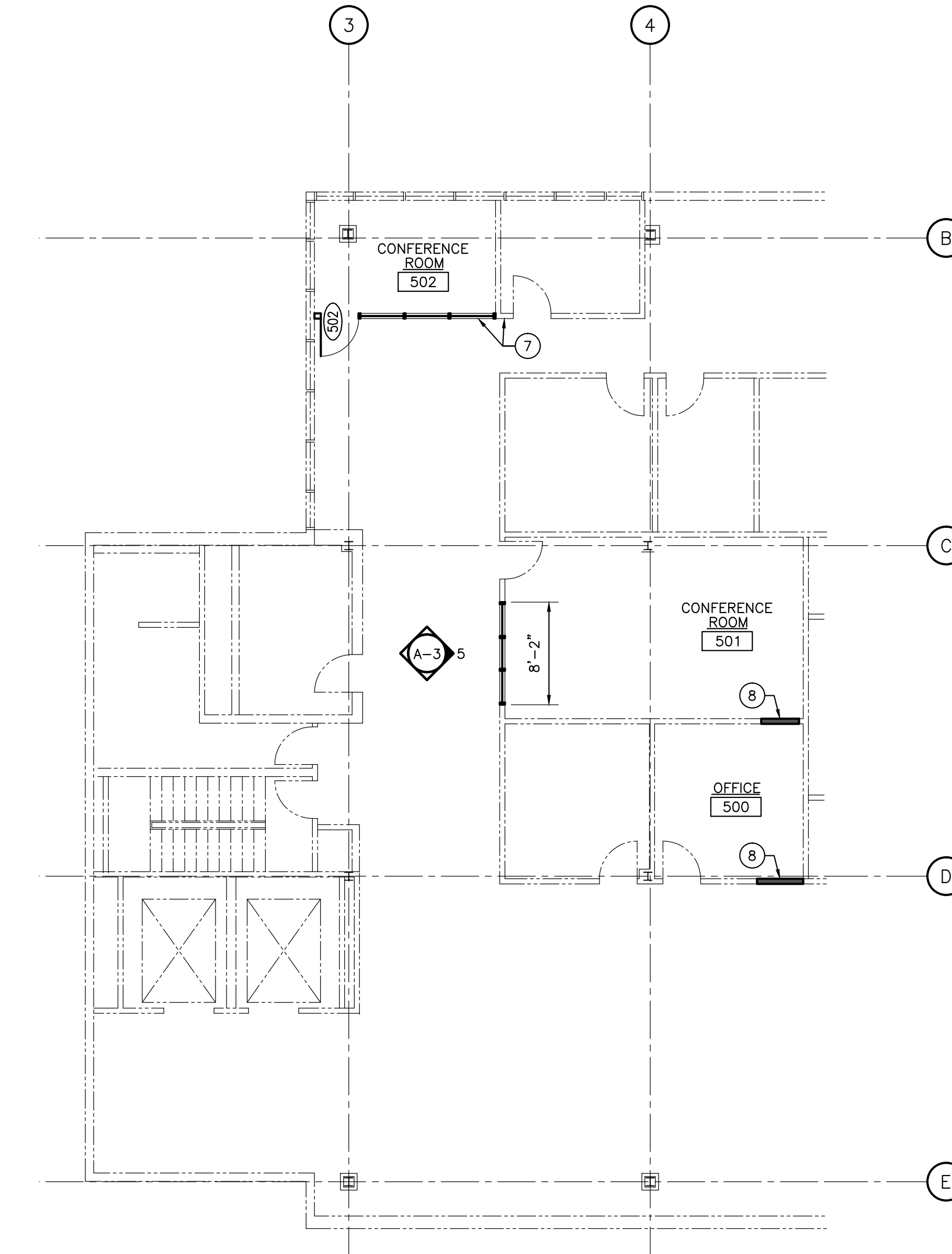
SHEET No.: AD-1 of 1



1ST FLOOR COURT AND POLICE BUILDING SCALE: 1/8"=1'-0"



6TH FLOOR PLAN LARCOM BUILDING SCALE: 1/8"=1'-0"



5TH FLOOR PLAN LARCOM BUILDING SCALE: 1/8"=1'-0"

ARCHITECTURAL LEGEND

- EXISTING CONSTRUCTION
NEW CONSTRUCTION
CONSTRUCTION TO BE REMOVED
DOOR NUMBER
ROOM NUMBER

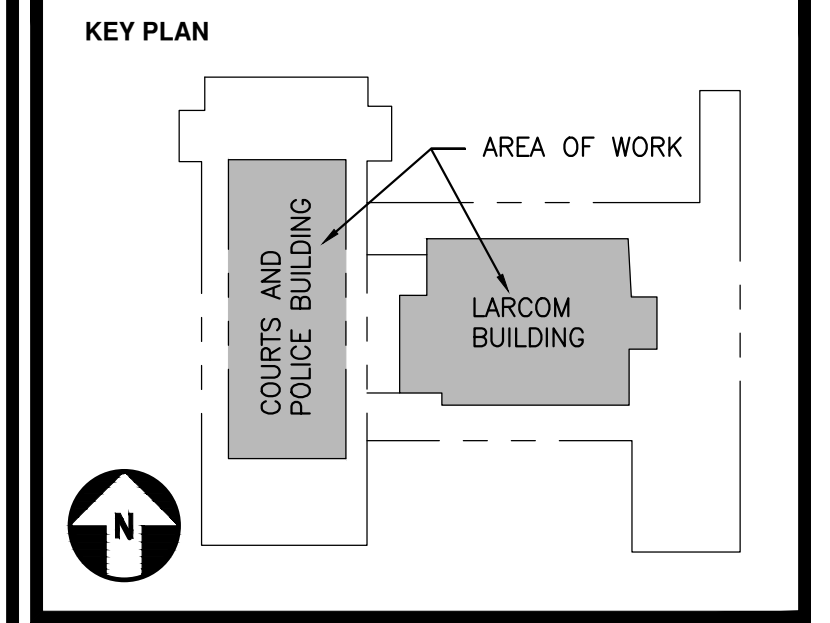
KEYED NOTES

- RELOCATED MILLWORK AND GLAZING.
RELOCATED MAIL SLOT AND SIGNAGE.
RELOCATED DOOR AND FRAME.
RELOCATED PROJECTION SCREEN AND PROJECTOR.
RELOCATED REFRIGERATOR.
WHITE BOARD TO BE RELOCATED.
ALIGN WALLS.
GYPSUM BOARD WALL INFILL TO MATCH EXISTING.
GYPSUM BOARD COLUMN ENCLOSURE. MATCH WALL TYPE 1/A-3.
EXISTING FIRE EXTINGUISHER CABINET TO REMAIN.
PATCH CARPET. OWNER PROVIDED, CONTRACTOR INSTALLED.
REINSTALLED CABINETS, SINK AND COUNTERTOP.
3'-0" x 3'-6" WINDOW 45 MINUTE FIRE RATED. HEAD HEIGHT TO MATCH DOOR HEAD. HEAD AND JAMB TO MATCH HJ-1/A-3.

FLOOR PLAN NOTES:

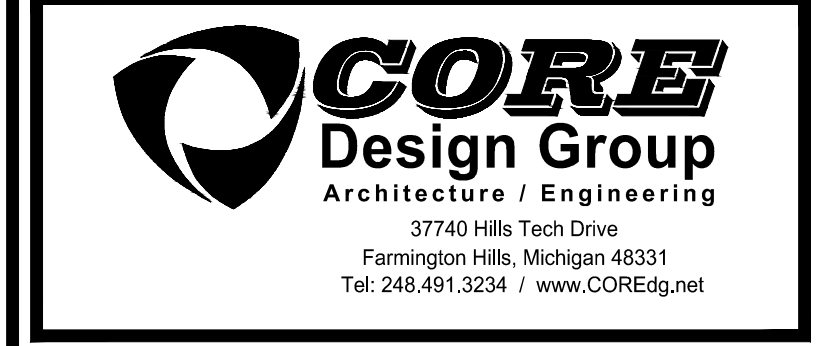
- CONTROL JOINTS: PROVIDE AND INSTALL CONTROL JOINTS IN CMU AND GYPSUM BOARD WALLS WHERE INDICATED.
ACOUSTICAL WALL INSULATION: PROVIDE AND INSTALL BATT INSULATION IN WALL STUD CAVITIES WHERE INDICATED.
DRAWING INTERPRETATION: INFORMATION CONTAINED WITHIN THESE DRAWINGS IS BASED ON EARLIER DOCUMENTATION.
PATCHING: PATCH AND REPAIR FLOOR, CEILING AND WALL FINISH TO MATCH ADJACENT FINISHES AT LOCATIONS WHERE WALLS AND MILLWORK HAVE BEEN REMOVED.

Table with columns: ISSUED DATE, REVIEW, ISSUED FOR, BIDS. Rows: 12/19/19, 01/10/2020.



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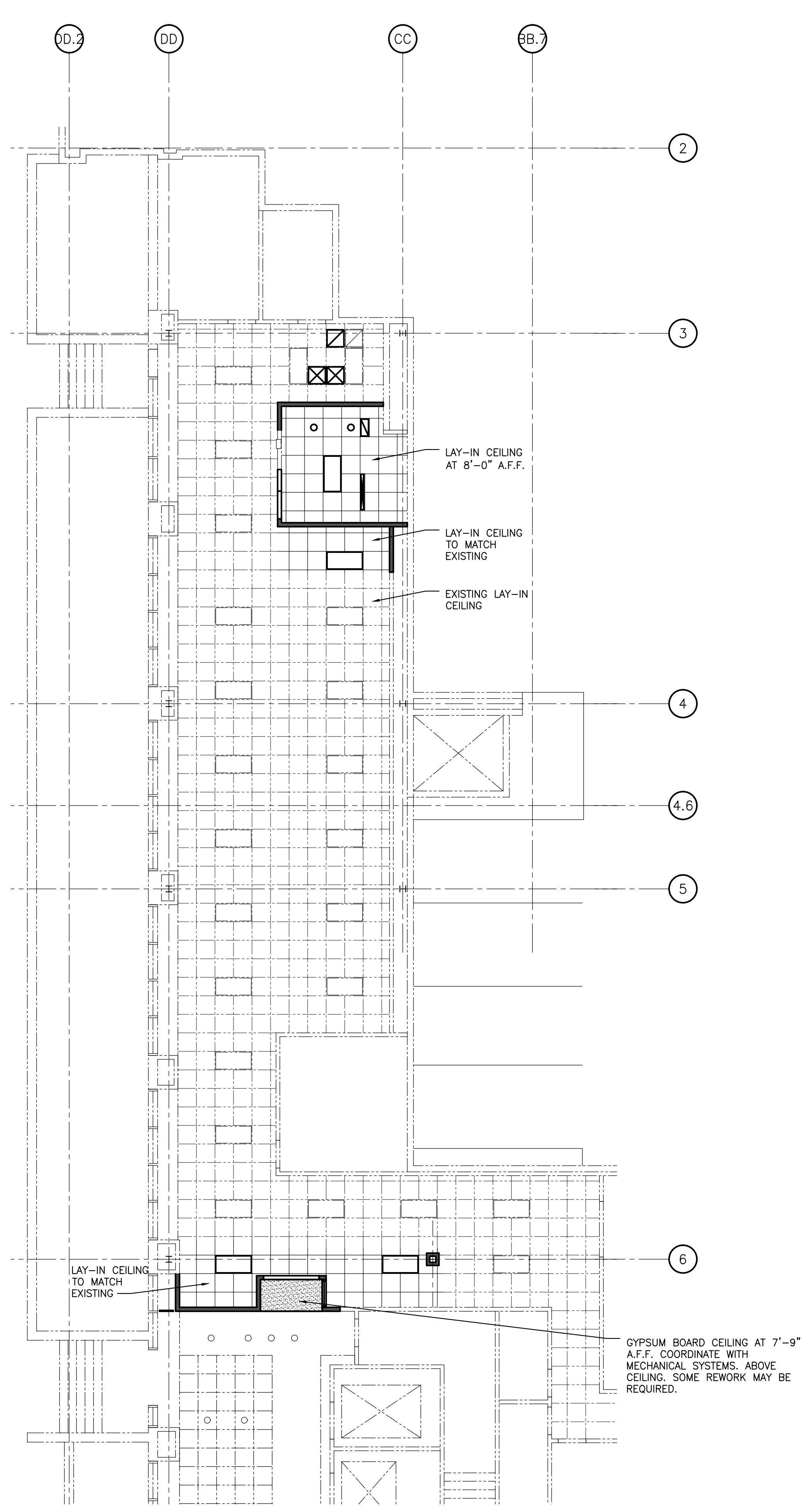
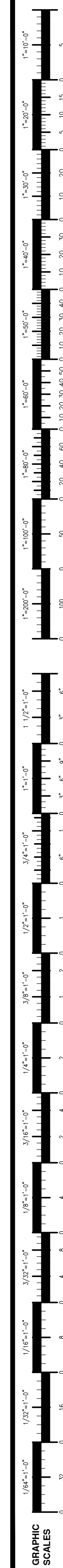


PROJECT TITLE: CITY OF ANN ARBOR MUNICIPAL CENTER RENOVATIONS

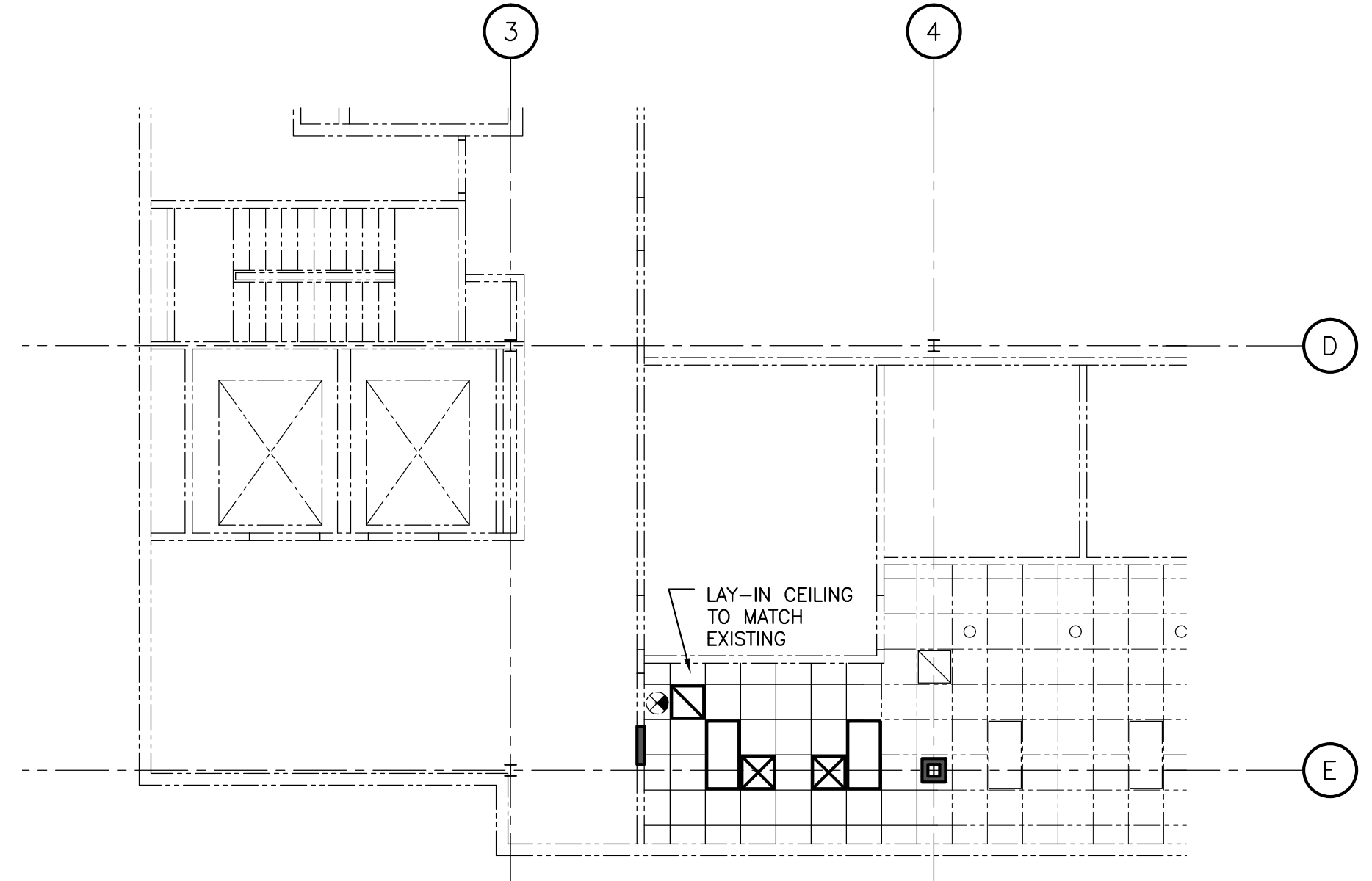
SHEET TITLE: FLOOR PLANS

DESIGNED BY: D.ISENOGLE
DRAWN BY: D.ISENOGLE
CHECKED BY: J.RITCHIE
JOB No.: 19-107.AA

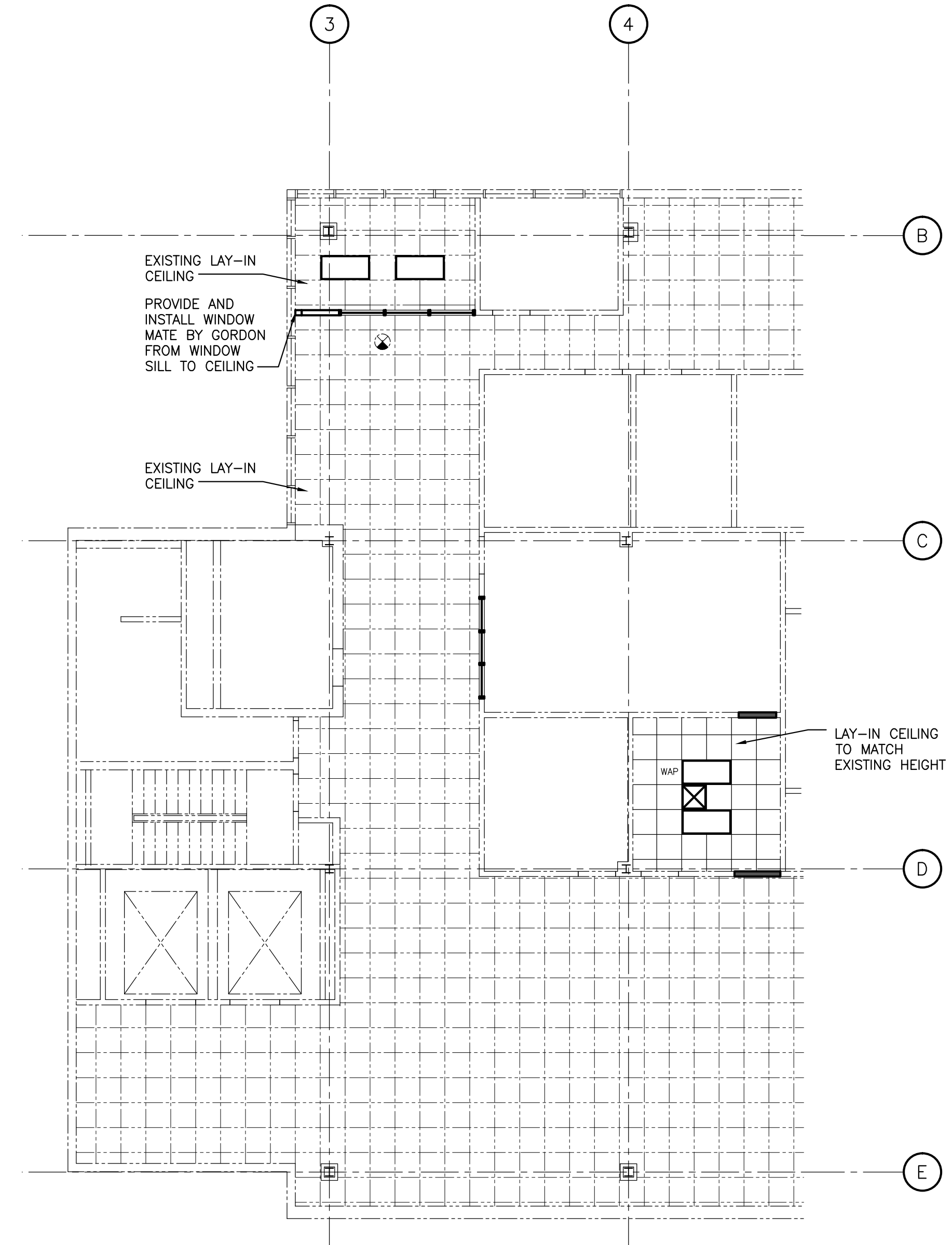
SHEET No.: A-1 of 5



1ST FLOOR COURT AND POLICE BUILDING  
SCALE: 1/8"=1'-0"



6TH FLOOR PLAN LARCOM BUILDING  
SCALE: 1/8"=1'-0"



5TH FLOOR PLAN LARCOM BUILDING  
SCALE: 1/8"=1'-0"

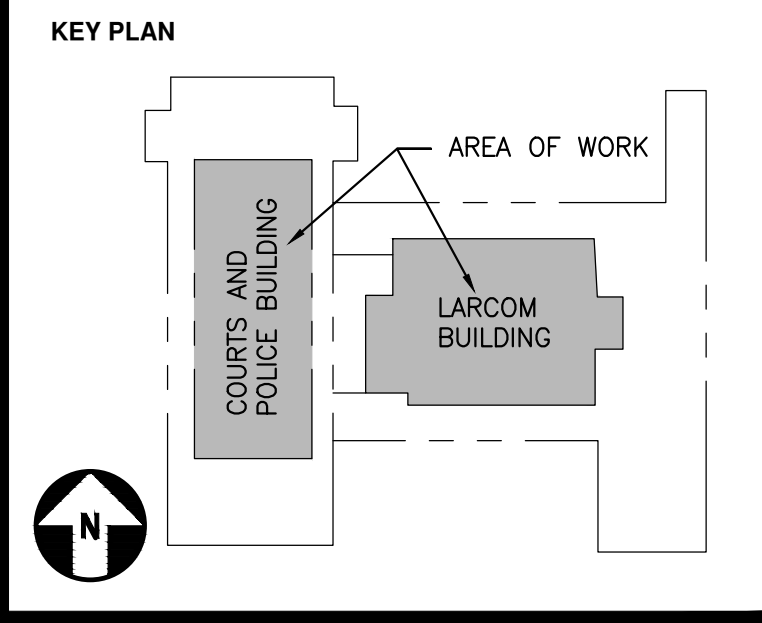
**REFLECTED CEILING PLAN LEGEND**

- ACOUSTICAL LAY-IN CEILING
- GYPSUM BOARD
- 2x4 FLUORESCENT LIGHT FIXTURE
- DOWNLIGHT
- FIRE PROTECTION SPRINKLER HEAD (EXISTING)
- SUPPLY DIFFUSER
- RETURN GRILLE
- LINEAR SUPPLY DIFFUSER
- WAP WIRELESS ACCESS POINT
- WALL TO OR ABOVE CEILING
- CEILING MOUNTED EMERGENCY LIGHTING UNIT
- CEILING MOUNTED EXIT LIGHT

**REFLECTED CEILING PLAN NOTES:**

1. CEILING INSTALLATION: CENTER ACOUSTICAL CEILINGS WITHIN EACH ROOM OR AREA UNLESS OTHERWISE INDICATED.
2. FIRE PROTECTION HEADS: MODIFY SPRINKLER HEADS WHERE CONSTRUCTION OCCURRED. CENTER FIRE PROTECTION SPRINKLER HEADS WITHIN CEILING TILES UNLESS NOTED OTHERWISE. COORDINATE WITH FIRE PROTECTION CONTRACTOR.
3. CEILING DIFFUSERS TO BE SHIFTED AS SHOWN. CLEAN BEFORE RELOCATION AND MAINTAIN ALL DUCT SIZING.

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| 12/19/19     | REVIEW      |
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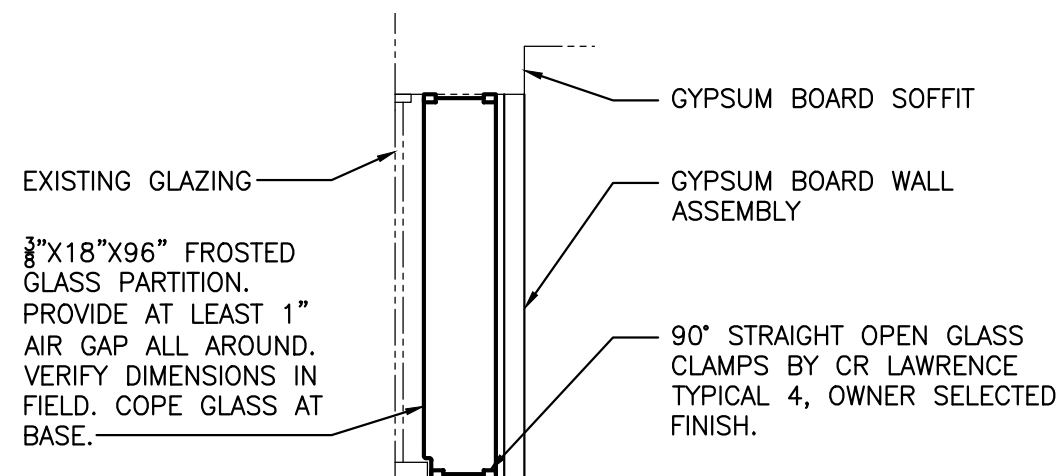
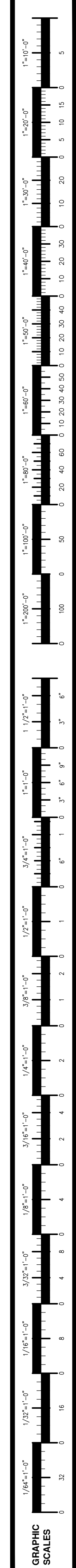
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ANN ARBOR, MI 48104

PROJECT TITLE:  
**CITY OF ANN ARBOR  
MUNICIPAL CENTER  
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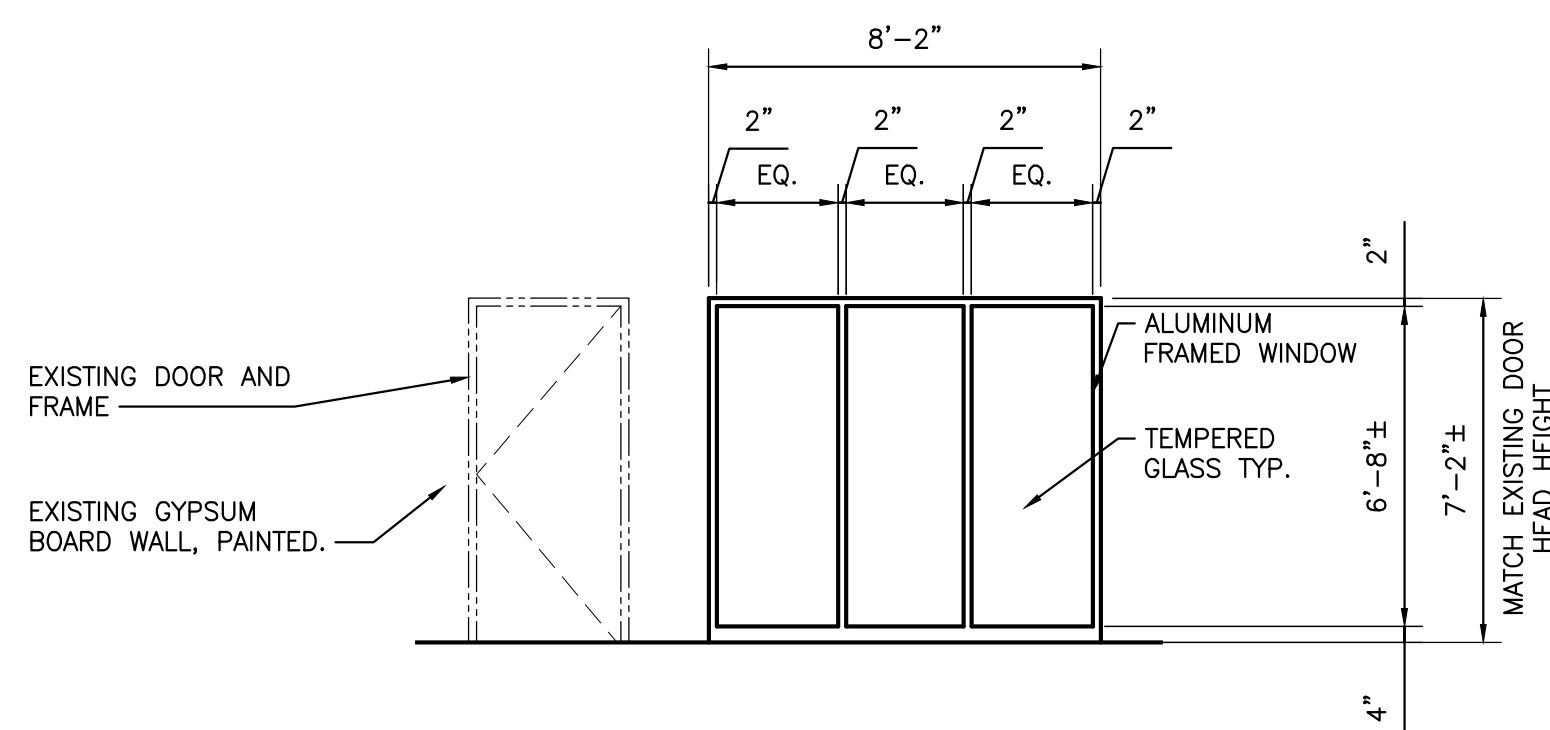
SHEET TITLE:  
**REFLECTED CEILING PLANS**

DESIGNED BY: D.ISENOGLE  
 DRAWN BY: D.ISENOGLE  
 CHECKED BY: J.RITCHIE  
 JOB No.: 19-107.AA

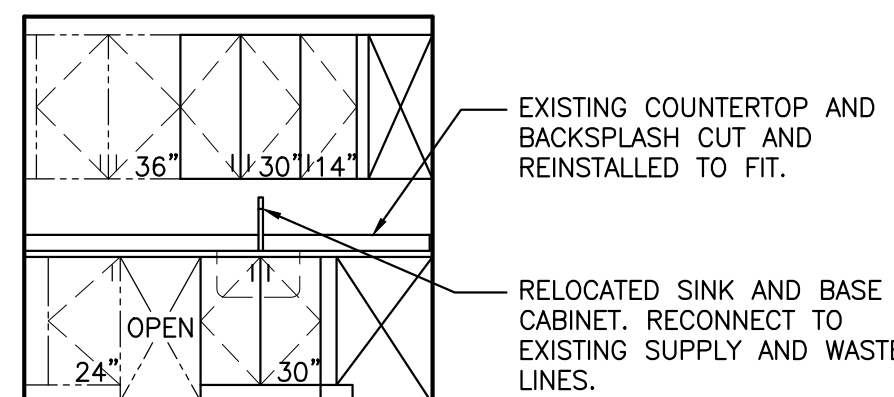
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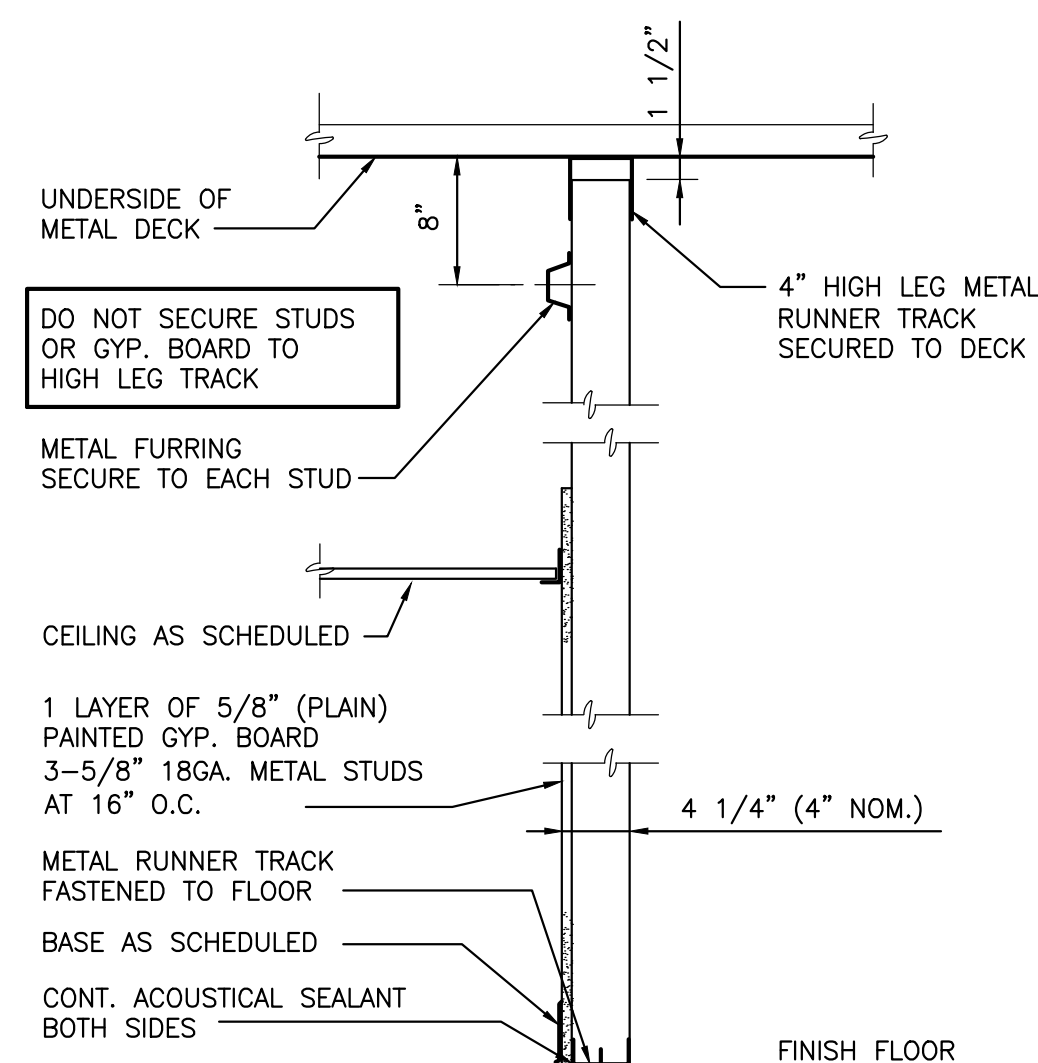
**6 LOBBY ELEVATION**  
SCALE: 1/4"=1'-0"



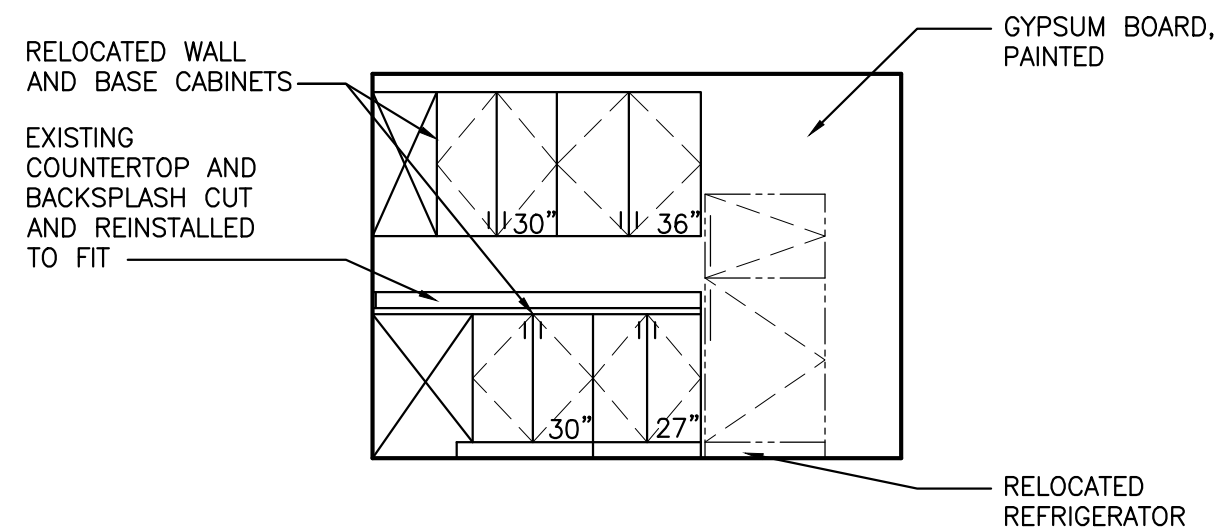
**5 CONFERENCE ROOM ELEVATION**  
SCALE: 1/4"=1'-0"



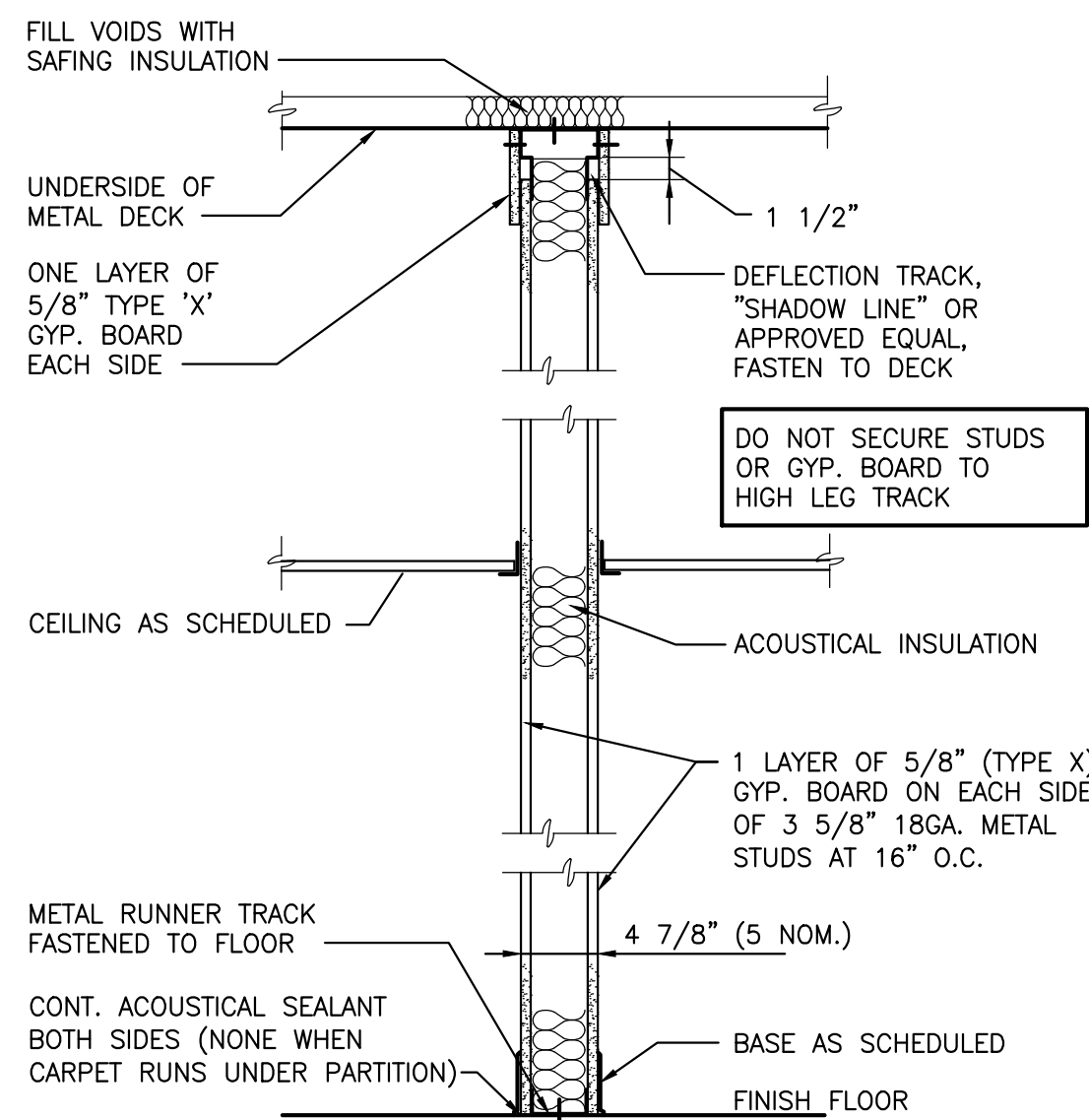
**4 KITCHENETTE ELEVATION**  
SCALE: 1/4"=1'-0"



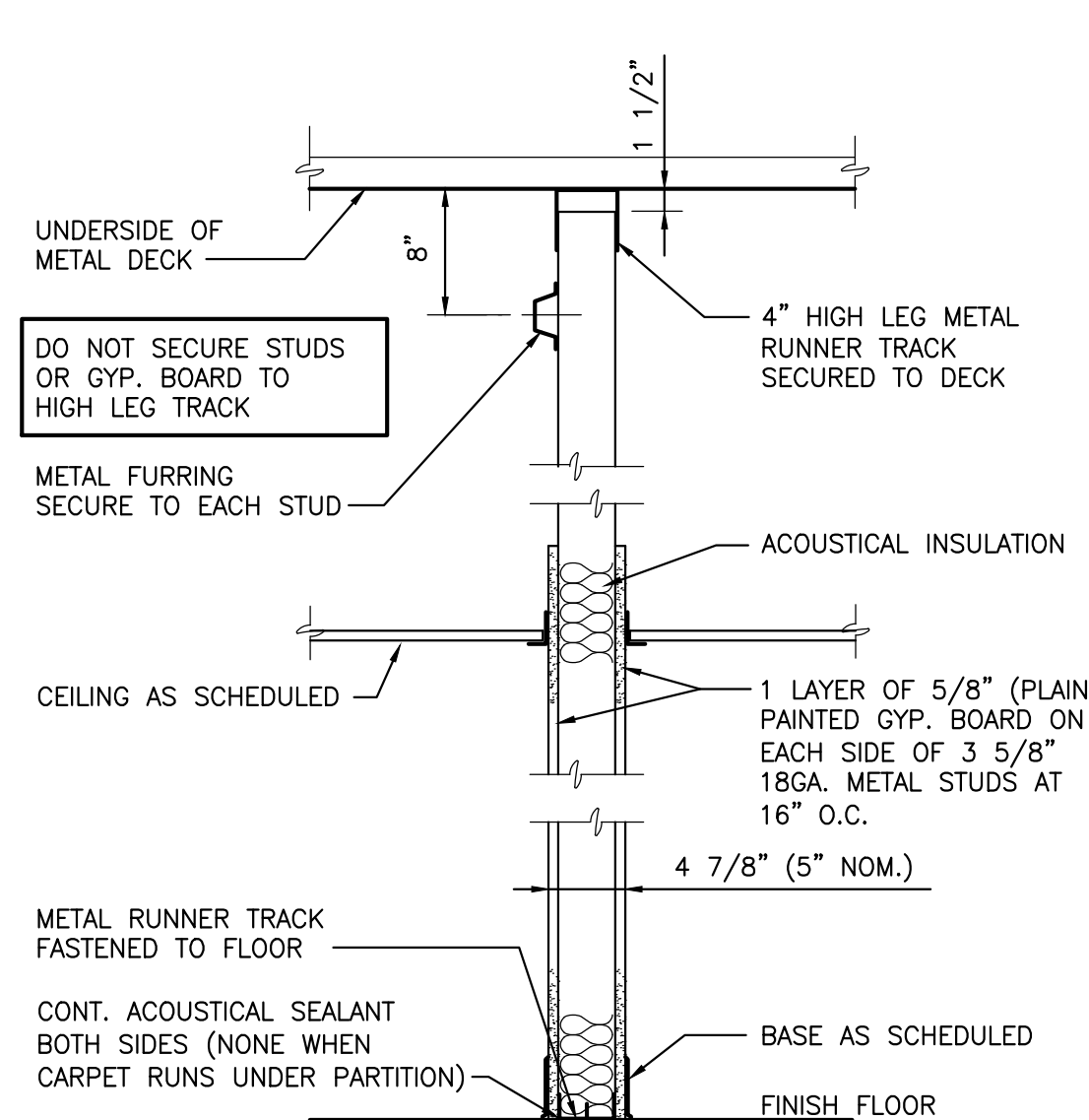
**2 TYPICAL PARTITION**  
SCALE: NONE



**3 KITCHENETTE ELEVATION**  
SCALE: 1/4"=1'-0"  
NOTE: WALL AND BASE CABINETS ARE RELOCATED UNLESS NOTED OTHERWISE.



**1A TYPICAL PARTITION**  
SCALE: NONE



**1 TYPICAL PARTITION**  
SCALE: NONE

**ROOM FINISH SCHEDULE**

| ROOM | ROOM NAME       | FLOOR     | BASE  | WALLS |       |      |      | CEILING  | REMARKS |
|------|-----------------|-----------|-------|-------|-------|------|------|----------|---------|
|      |                 |           |       | NORTH | SOUTH | EAST | WEST |          |         |
| 001  | CORRIDOR        | EX        | RB    | PNT   | -     | -    | -    | EX       | 1       |
| 002  | CORRIDOR        | EX        | RB    | -     | PNT   | -    | -    | EX       | 1       |
| 100  | LOBBY           | EX/CPT    | RB    | PNT   | -     | -    | -    | EX/GYP   | 2       |
| 101  | IT OFFICE       | EX/CPT/SV | RB    | -     | PNT   | -    | -    | EX/ACOUS | 2,4     |
| 102  | CONFERENCE ROOM | CPT       | RB    | PNT   | PNT   | PNT  | PNT  | ACOUS    | 2       |
| 103  | KITCHENETTE     | EX        | EX    | -     | PNT   | PNT  | -    | EX       | -       |
| 500  | OFFICE          | CPT       | RB    | PNT   | PNT   | PNT  | PNT  | ACOUS    | 2       |
| 501  | CONFERENCE ROOM | EX        | RB    | -     | PNT   | -    | -    | EX       | -       |
| 502  | CONFERENCE ROOM | EX        | RB    | PNT   | -     | PNT  | PNT  | EX       | -       |
| 600  | HR OFFICE       | EX/CPT    | EX/RB | -     | -     | -    | PNT  | EX/ACOUS | 1,2,3   |
| 601  | CORRIDOR        | EX        | EX/RB | -     | -     | PNT  | -    | EX       | 1       |

**GENERAL REQUIREMENTS**

- ROOM NAME AND ROOM NO. CORRESPOND TO THE TERMINOLOGY AND NUMBERS INDICATED ON THE DRAWINGS.
- MATERIALS & FINISHES INDICATE THE SPECIFIC MATERIALS AND FINISHING SYSTEMS TO BE USED TO CONSTRUCT AND FINISH THE FLOOR, BASE, WALLS AND CEILING, IN CONFORMANCE WITH THE CODES DEFINED BELOW.
- IF MORE THAN ONE FINISH IS INDICATED FOR A ROOM OR AREA, SEE PLANS AND ELEVATIONS FOR MORE PRECISE DEFINITION.
- REMARKS INDICATES ANY SPECIAL REQUIREMENTS FOR THE MATERIALS AND FINISHES IN A ROOM. IF NUMBERED, SEE CORRESPONDING NOTE AT BOTTOM OF SCHEDULE. C-G INDICATES THE COLOR GROUP OF THE FINISHES FOR THAT ROOM - SEE COLOR SCHEDULE.

**ROOM MATERIAL & FINISH CODES**

- RB RESILIENT BASE
- CPT CARPETING
- SV SHEET VINYL
- ACOUS ACOUSTICAL LAY-IN
- GYP. BD. GYPSUM BOARD
- EXIST EXISTING
- PNT PAINT

**ROOM FINISH SCHEDULE GENERAL NOTES**

- MATCH EXISTING BASE.
- CARPET TILES WILL BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.
- PAINT COLUMN ENCLOSURE.
- SHEET VINYL FLOORING IS OWNER PROVIDED, CONTRACTOR INSTALLED.

**DOOR AND FRAME SCHEDULE**

| NO. | SIZE      | DOOR |      |        | FRAME |      |      | DETAILS |      |      | UL LABEL (MINUTES) | HARDWARE (SEE SPECS) | REMARKS |
|-----|-----------|------|------|--------|-------|------|------|---------|------|------|--------------------|----------------------|---------|
|     |           | TYPE | MAT. | FINISH | GLASS | TYPE | MAT. | FINISH  | HEAD | JAMB |                    |                      |         |
| 001 | -         | -    | -    | PNT    | -     | -    | PNT  | HJ1     | HJ1  | -    | -                  | -                    | 1       |
| 100 | -         | -    | -    | PNT    | -     | -    | PNT  | HJ1     | HJ1  | -    | -                  | -                    | 1       |
| 102 | -         | -    | -    | -      | -     | -    | PNT  | HJ1     | HJ1  | -    | -                  | -                    | 1       |
| 502 | 3-0 x 8-0 | FG   | AL   | FF     | GL-1  | 2    | AL   | FF      | HJ1  | HJ1  | A                  | -                    | 2       |
| 600 | -         | -    | -    | -      | -     | -    | PNT  | HJ1     | HJ1  | -    | -                  | -                    | 1       |

**GENERAL REQUIREMENTS**

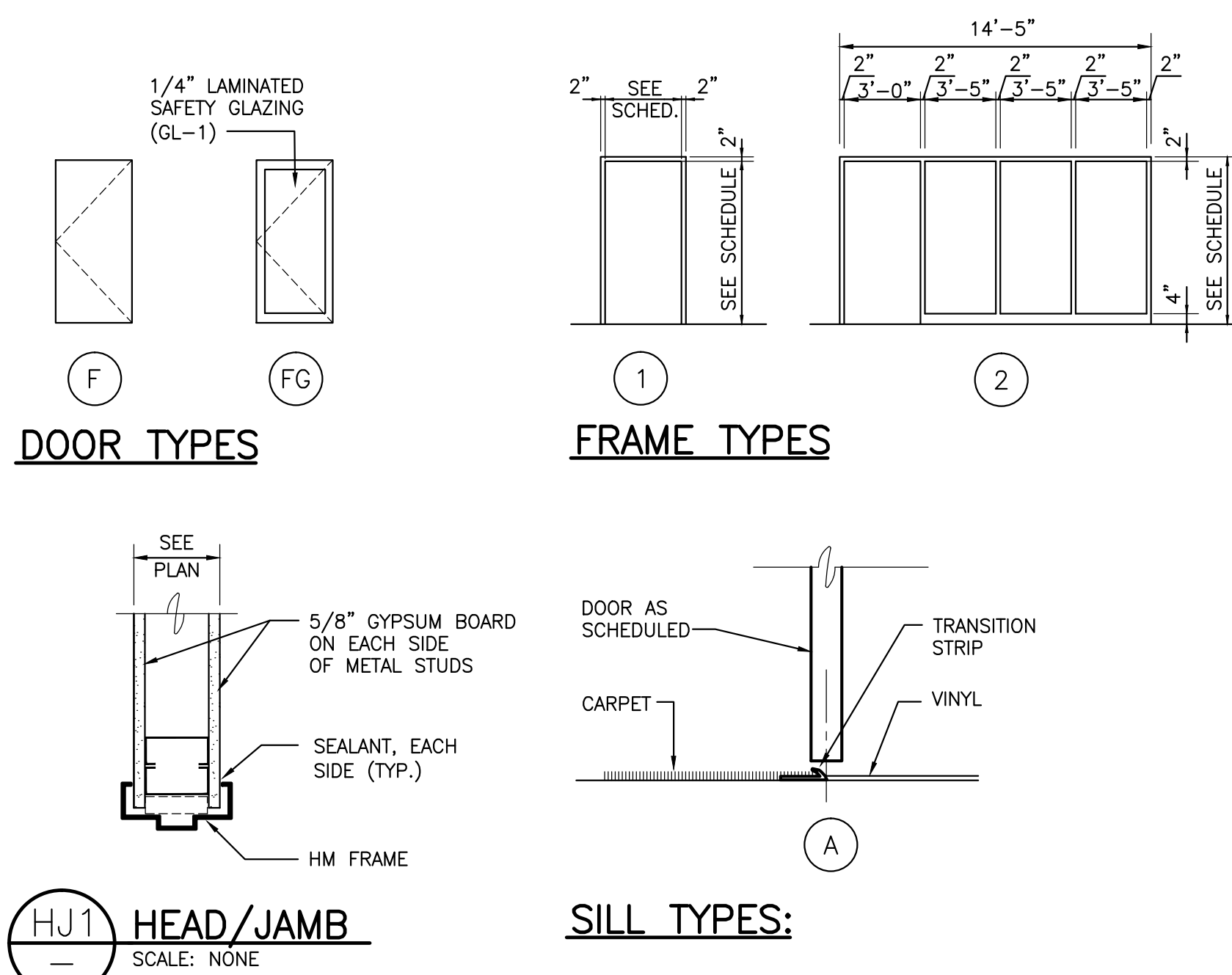
- REFER TO THE PLANS FOR DOOR LOCATIONS AND SWING AS APPLICABLE.
- DOOR DESIGNATION CORRESPONDS TO THE DOOR DESIGNATION (NUMBER OR GROUP) INDICATED ON THE DRAWINGS.
- DOOR SIZE INDICATES THE WIDTH AND HEIGHT OF THE DOOR IN FEET-INCHES (EXAMPLE: A 3-0 X 7-0 DOOR IS 3'-0" WIDE BY 7'-0" HIGH). ANY SIZE PREFACED BY 2/ DENOTES A PAIR OF DOORS FOLLOWED BY THE SIZE OF EACH LEAF. ALL SWING DOORS ARE 1-3/4" THICK UNLESS OTHERWISE NOTED. DOOR AND FRAME CODES DEFINED AT RIGHT.
- MATERIALS AND FINISHES (CODES DEFINED BELOW).
- DETAILS HD-JB-SL INDICATE THE HEAD-JAMB-SILL DETAIL NUMBERS SHOWN ON THE DRAWINGS. DETAIL NUMBERS WITHOUT SHEET NUMBERS ARE ON THIS SHEET.
- HW SET INDICATES HARDWARE SET NUMBERS SCHEDULED IN THE FINISH HARDWARE SCHEDULE. X INDICATES A DOOR WITHOUT A HARDWARE SET IN THE SCHEDULE.
- REMARKS INDICATES ANY SPECIAL REQUIREMENTS FOR A DOOR AND FRAME. IF NUMBERED, SEE CORRESPONDING NOTE AT BOTTOM OF SCHEDULE.

**ABBREVIATION LEGEND**

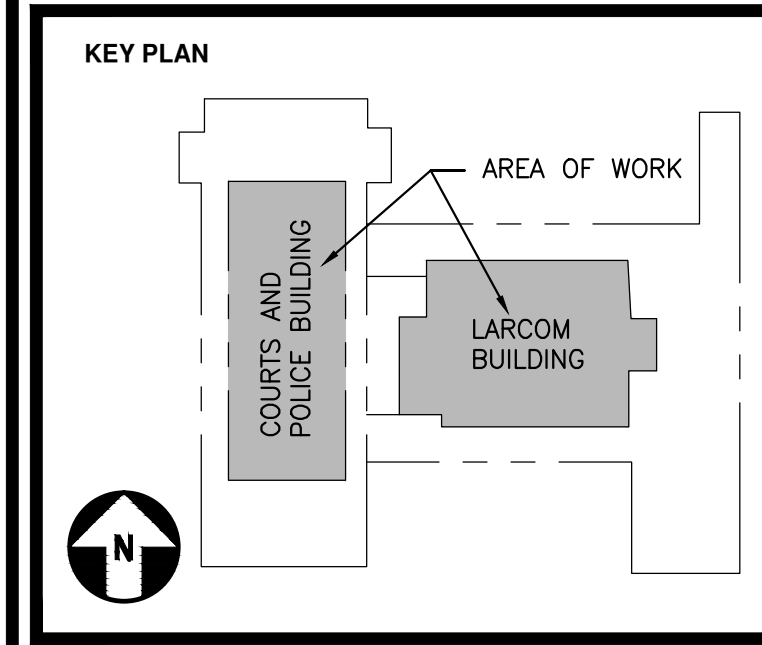
- MATERIAL**
- AL ALUMINUM
  - STL STEEL
  - HM HOLLOW METAL
  - WD WOOD
- FINISH**
- FF FACTORY FINISH
  - PNT PAINTED
  - ST STAINED

**DOOR SCHEDULE NOTES**

- RELOCATED DOOR, FRAME, AND HARDWARE.
- GLAZING AND DOOR OFFICE FRONT TO BE FULL HEIGHT TO MATCH EXISTING CEILING HEIGHT.

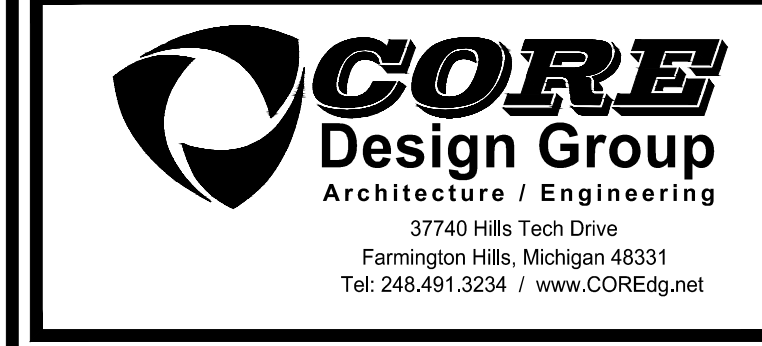


| ISSUED DATE: | ISSUED FOR: |
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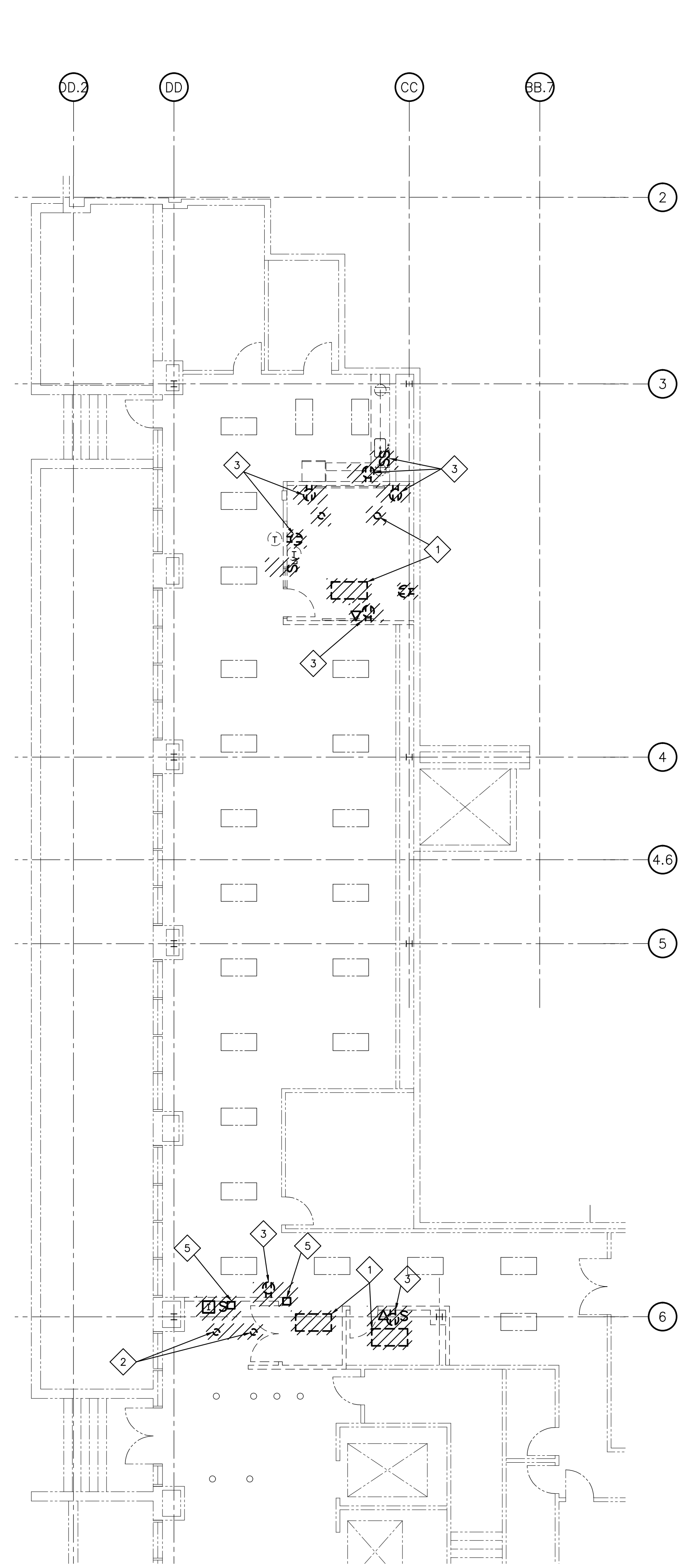
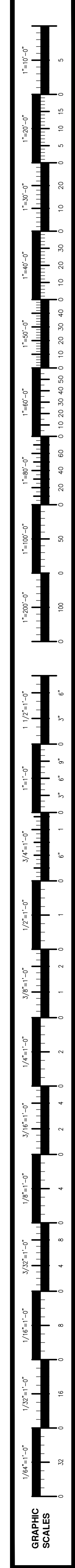
PROJECT TITLE:  
**CITY OF ANN ARBOR MUNICIPAL CENTER RENOVATIONS**

SHEET TITLE:  
**SCHEDULES AND DETAILS**

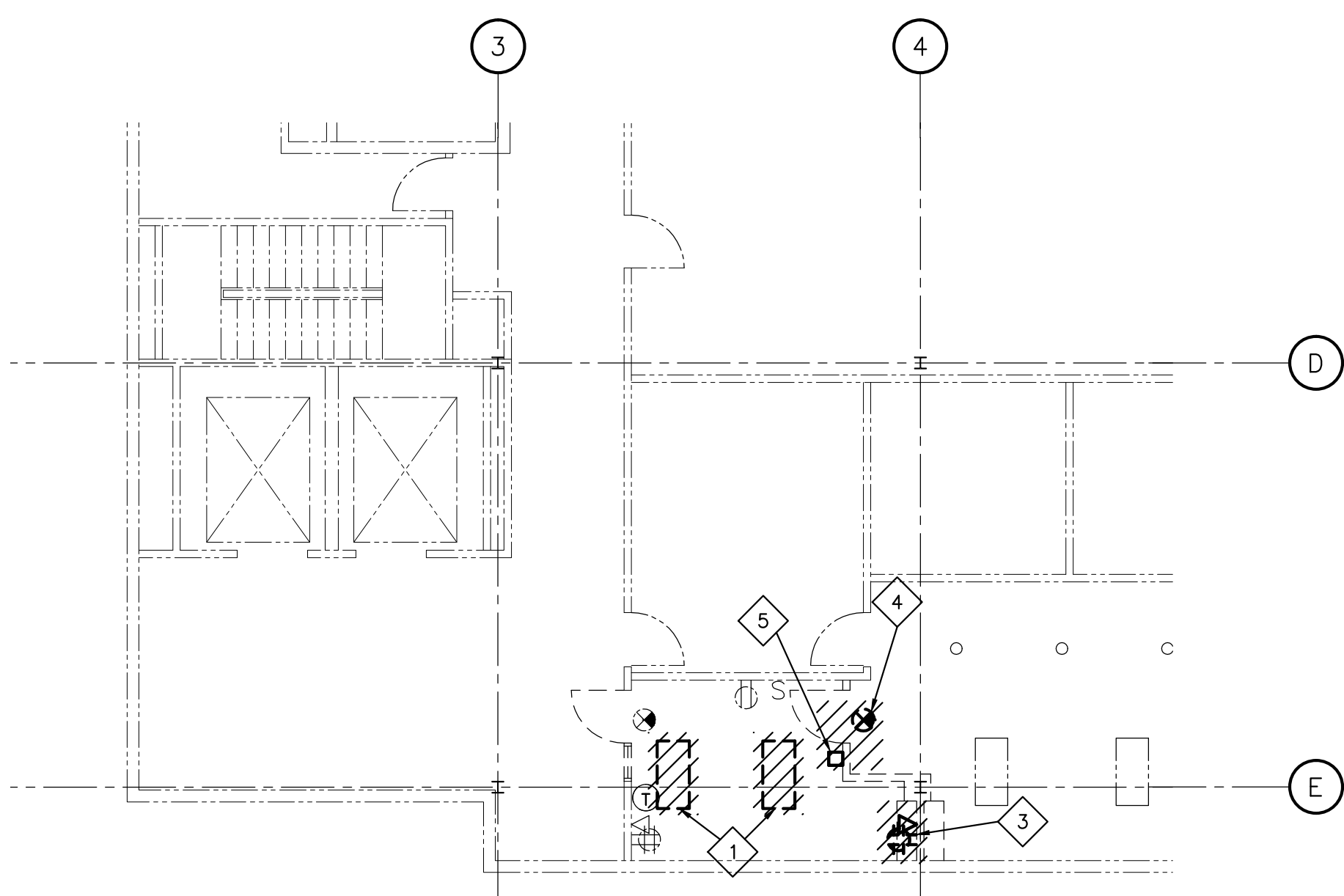
DESIGNED BY: **D.ISENOGLE**  
DRAWN BY: **D.ISENOGLE**  
CHECKED BY: **J.RITCHIE**  
JOB NO.: **19-107.AA**



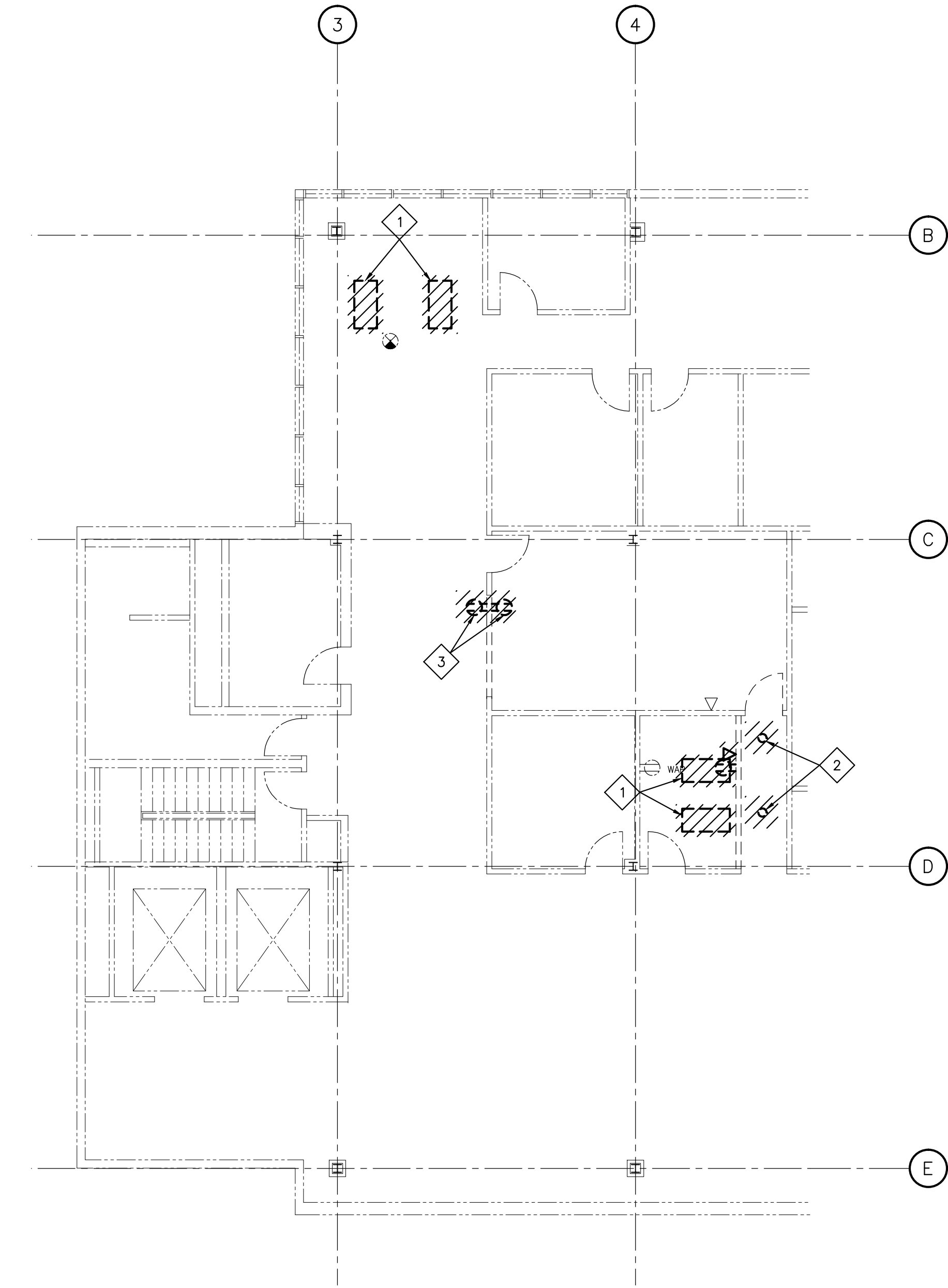




**1ST FLOOR**  
**COURT AND POLICE BUILDING**  
 SCALE: 1/8"=1'-0"



**6TH FLOOR PLAN**  
**LARCOM BUILDING**  
 SCALE: 1/8"=1'-0"



**5TH FLOOR PLAN**  
**LARCOM BUILDING**  
 SCALE: 1/8"=1'-0"

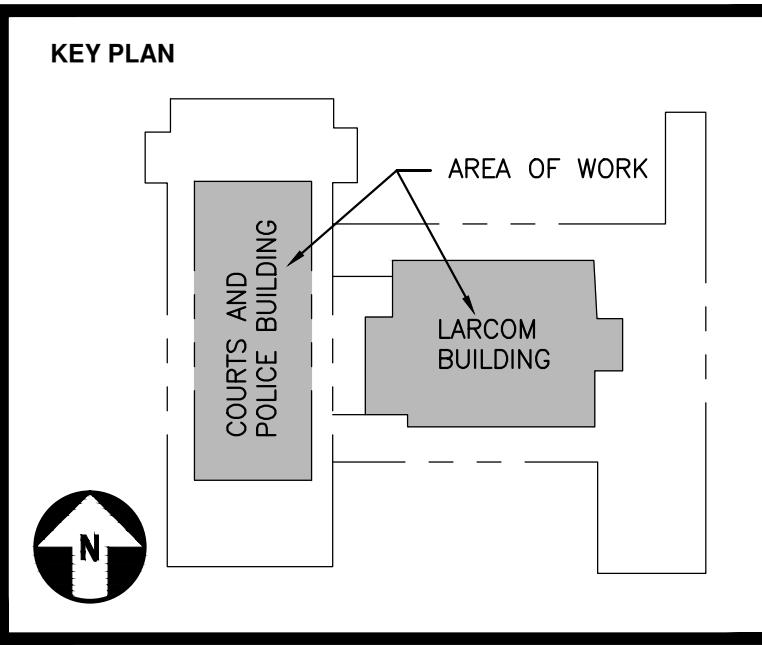
**GENERAL ELECTRICAL DEMOLITION NOTES:**

1. SCOPE OF WORK: ELECTRICAL DEMOLITION SHALL INCLUDE DISCONNECTION, REMOVAL, RELOCATION AND RECONNECTION OF POWER FOR EXISTING LIGHTING FIXTURES, RECEPTACLES, SWITCHES, WIRING, CONDUIT, BOXES, ETC. IN THE AREA OF CONSTRUCTION.
2. SITE SURVEY: VISIT THE SITE PRIOR TO SUBMISSION OF BID TO EXAMINE EXISTING CONDITIONS AND THE EXTENT OF DEMOLITION WORK.
3. COORDINATION WITH OTHER TRADES: EXAMINE DRAWINGS OF ALL TRADES TO BE FAMILIAR WITH DEMOLITION REQUIREMENTS OF OTHER TRADES. PROVIDE ALL INCIDENTAL ELECTRICAL DEMOLITION AND/OR RELOCATION TO FACILITATE THE DEMOLITION WORK OF OTHER TRADES WHETHER OR NOT SHOWN ON THE DRAWINGS.
4. COORDINATION: COORDINATE DEMOLITION WITH NEW WORK FOR EXTENT OF DEMOLITION.
5. RACEWAYS: REMOVE ALL UNUSED EXPOSED CONDUIT, WIRE, DATA/VOICE CABLE, RACEWAY, JUNCTION BOXES, HANGERS AND CLAMPS BACK TO THE PANEL. WHERE CONDUITS ARE CONCEALED IN WALL CAVITIES, CUT AND REMOVE THE CONDUITS ABOVE EXISTING WALL LEADING INTO AN ACCESSIBLE CEILING OR TRUSS SPACE. PROVIDE NEW BLANK COVER PLATES. REMOVE ALL SURFACE MOUNTED ELECTRICAL DEVICES, BOXES AND RELATED CONDUIT.
6. HATCHING: REMOVE ALL CROSSHATCHED ELECTRICAL EQUIPMENT AND DEVICES AS SHOWN ON PLANS, INCLUDING ALL BRANCH CIRCUITRY, CONDUITS AND BOXES, BACK TO SOURCE OR TO NEAREST ACTIVE JUNCTION BOX, UNLESS OTHERWISE NOTED.
7. FIRE ALARM: MODIFICATION SHALL INCLUDE REMOVAL AND RELOCATION OF EXISTING FIRE ALARM DEVICES. COORDINATE CHANGES WITH OWNER'S REPRESENTATIVE. REMOVE ALL CONDUIT, JUNCTION BOXES AND WIRING BACK TO SOURCE OR TO NEAREST JUNCTION BOX WITH ACTIVE CIRCUITS. NOTIFY SITE SECURITY AND/OR OWNER A MINIMUM 48 HOURS PRIOR TO PERFORMING MODIFICATIONS TO EXISTING FIRE ALARM SYSTEM.
8. ACTIVE CIRCUITS: ACTIVE CIRCUITS TO REMAIN, EXIST IN WORK AREAS. WHERE REMOVAL OF CONDUIT AND WIRING AFFECTS THE OPERATION OF "UP-STREAM" AND/OR "DOWN-STREAM" ELECTRICAL EQUIPMENT, WHICH IS NOT INDICATED TO BE REMOVED, MAINTAIN AND PROVIDE ALL REQUIRED CONDUITS AND WIRING TO RESTORE THE ELECTRICAL EQUIPMENT TO ITS NORMAL OPERATION IN ADDITION TO COORDINATING WITH OWNER AND ALL ASSOCIATED PARTIES. SYSTEMS INCLUDE: FIRE ALARM, SECURITY, VOICE, P.A. SPEAKER SYSTEM, DATA, MECHANICAL CONTROLS & EMERGENCY/NIGHT LIGHTING. TAKE CARE TO MAINTAIN THESE SYSTEMS FOR AREAS OUTSIDE THE WORK AREA.
9. SUPPORT: RE-SUPPORT ITEMS WHERE WALLS AND SUPPORTS ARE SCHEDULED FOR REMOVAL.
10. LOW VOLTAGE CABLING: REMOVE ALL UNUSED DATA/COMMUNICATIONS CONDUITS AND CABLING COMING FROM TELEPHONE AND DATA CLOSETS.
11. PROTECTION: PROTECT EXISTING ITEMS TO REMAIN FROM DAMAGE BY OTHER DEMOLITION ACTIVITIES.
12. CARD READERS: MODIFICATION SHALL INCLUDE REMOVAL, RELOCATION AND ADDITIONS TO EXISTING CARD READER SYSTEM IN THE AREA. COORDINATE DEVICE CHANGES WITH OWNER'S REPRESENTATIVE. REMOVE ALL CONDUITS, JUNCTION BOXES AND WIRING BACK TO SOURCE AND/OR BACK TO NEAREST JUNCTION BOX WITH ACTIVE CIRCUITS. NOTIFY SITE SECURITY AND/OR OWNER MINIMUM 48 HOURS PRIOR TO PERFORMING MODIFICATIONS TO EXISTING CARD READER SYSTEM.
13. MATERIAL: MATERIAL THAT IS REMOVED, LIGHT FIXTURES, WIRING DEVICES, CONDUITS, ETC. SHALL BECOME THE PROPERTY OF CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF SUCH MATERIALS.

**KEYED DEMOLITION NOTES**

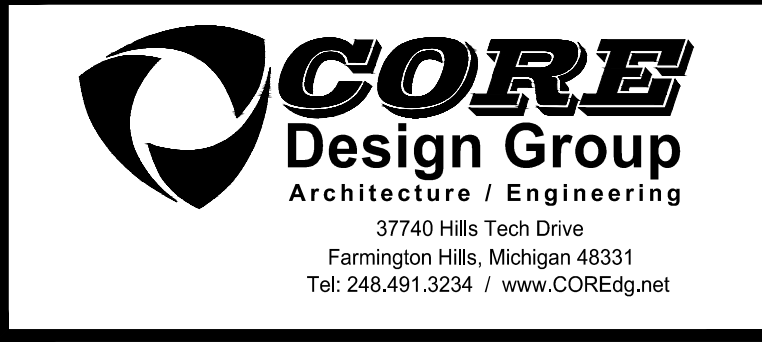
- 1 REMOVE AND RELOCATE LIGHT FIXTURES
- 2 REMOVE LIGHT FIXTURES AND ASSOCIATED LIGHTING CONTROLS.
- 3 REMOVE DEVICES
- 4 REMOVE AND RELOCATE EXIT SIGN
- 5 REMOVE AND RELOCATE CARD READERS AND ASSOCIATED WIRING FOR DOOR.

| ISSUED DATE: | ISSUED FOR: |
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| 12/19/19     | REVIEW      |
| 01/10/2020   | BIDS        |
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**PROFESSIONAL SEAL:**

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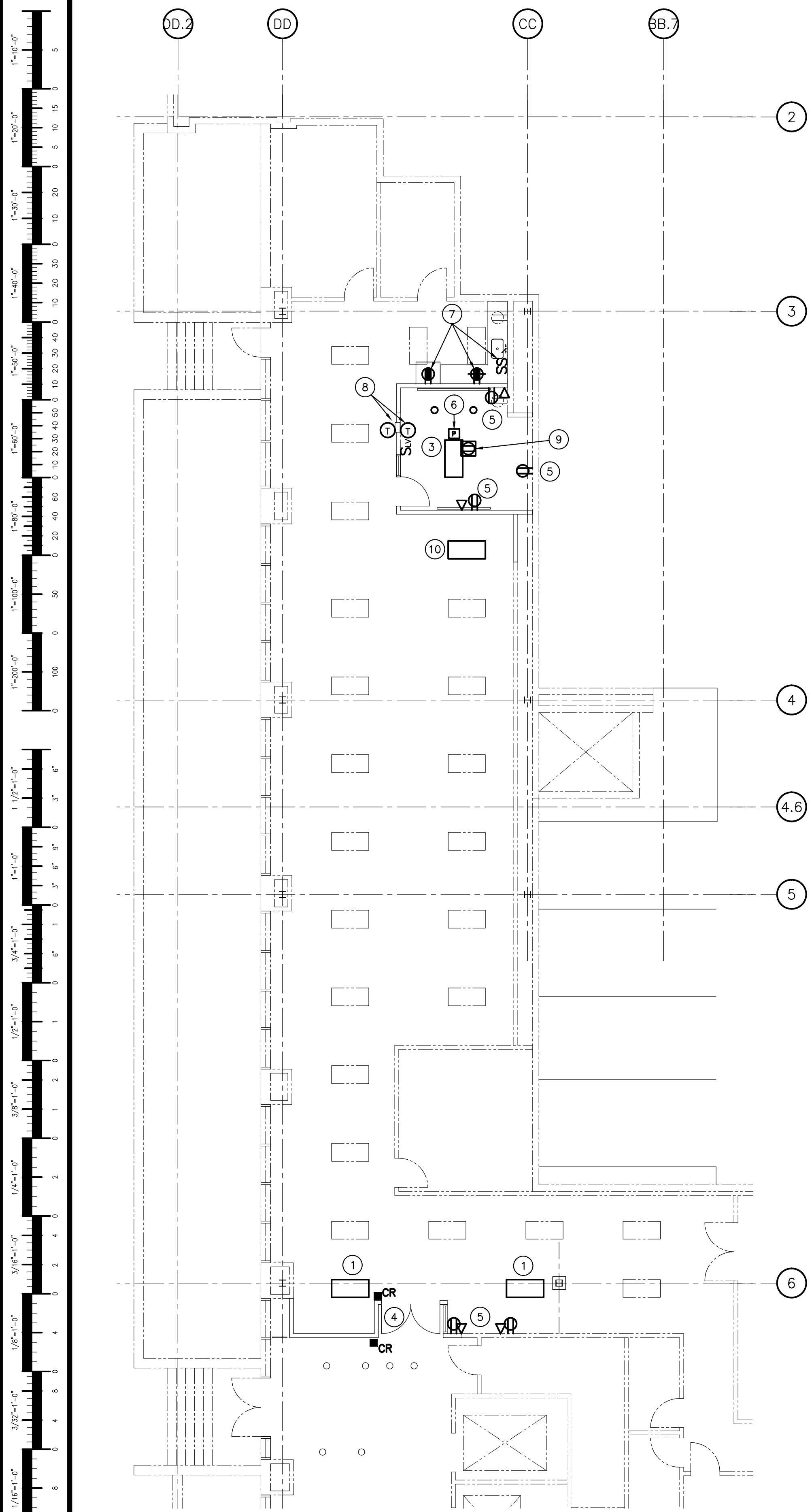


**PROJECT TITLE:**  
**CITY OF ANN ARBOR**  
**MUNICIPAL CENTER**  
**RENOVATIONS**

**SHEET TITLE:**  
**ELECTRICAL**  
**DEMOLITION**  
**PLANS**

|              |            |
|--------------|------------|
| DESIGNED BY: | D.ISENOGLE |
| DRAWN BY:    | D.ISENOGLE |
| CHECKED BY:  | J.RITCHIE  |
| JOB No.:     | 19-107.AA  |

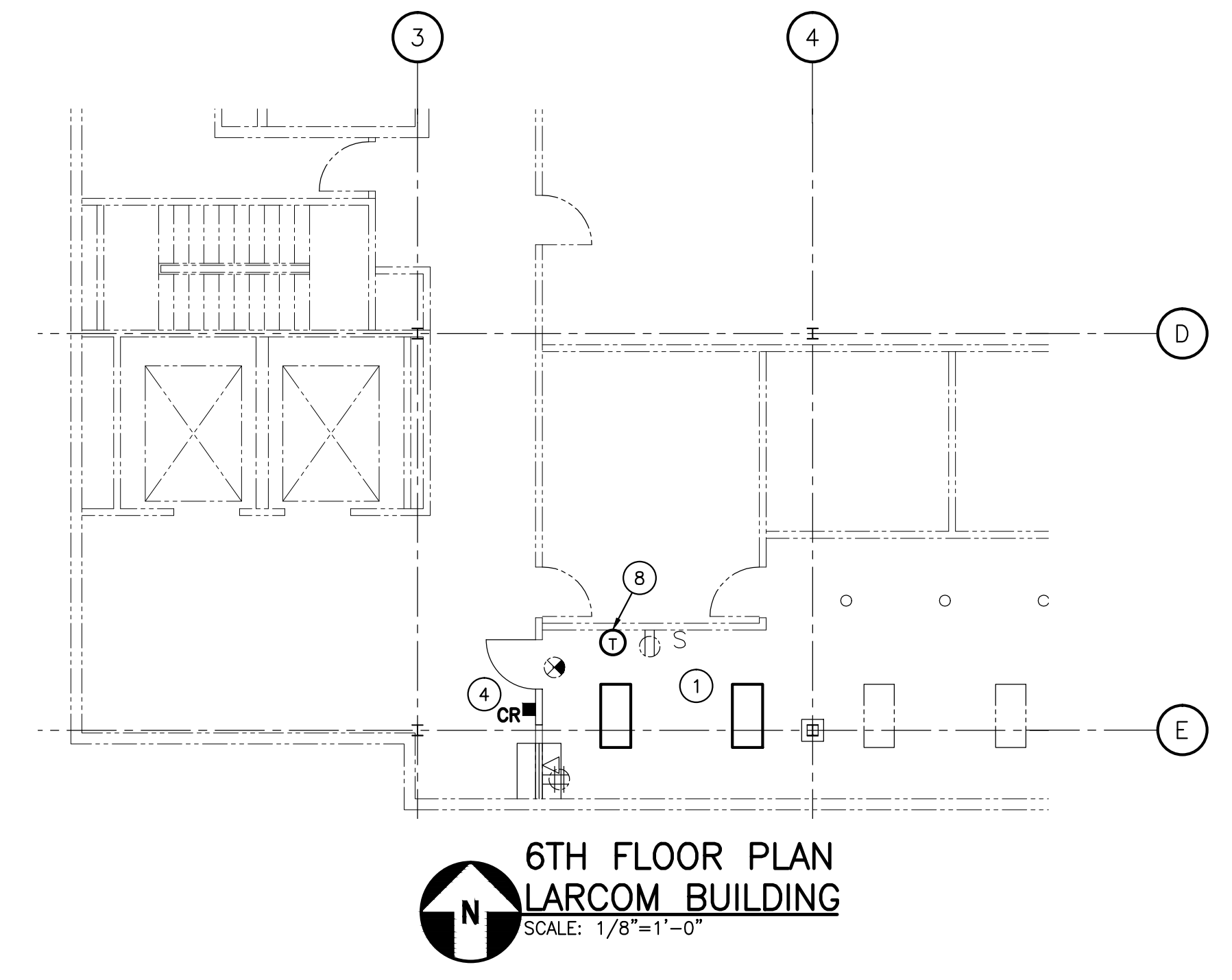




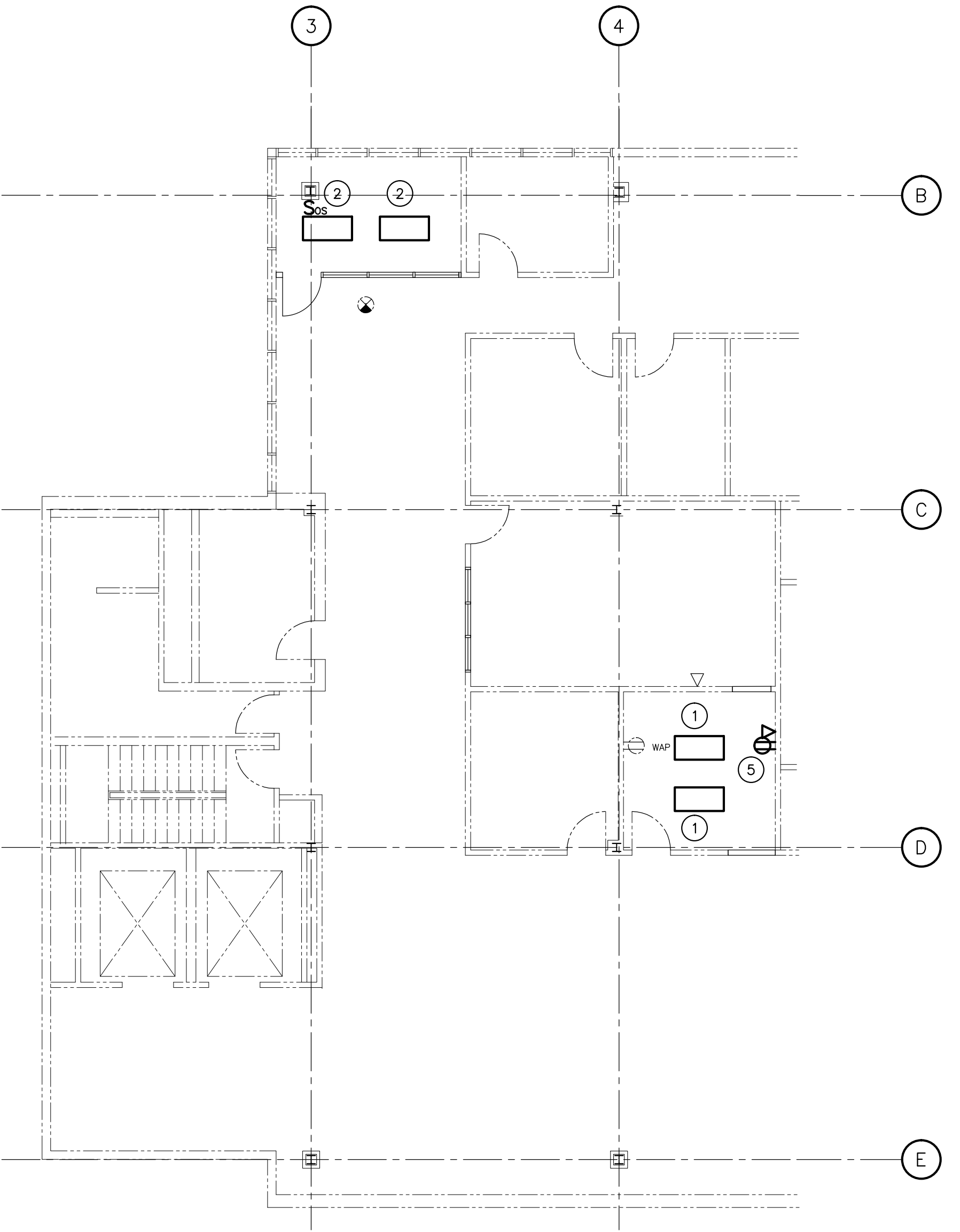
1ST FLOOR COURT AND POLICE BUILDING SCALE: 1/8"=1'-0"

KEYED NOTES

- 1 RELOCATE LIGHT FIXTURES, CONNECT TO LOCAL LIGHTING CONTROL.
2 RELOCATE LIGHT FIXTURES, PROVIDE NEW LOCAL LIGHTING CONTROL.
3 RELOCATE LIGHT FIXTURES AND CONTROLS.
4 RELOCATE CARD READERS FOR NEW DOOR LOCATION. EXTEND POWER AS REQUIRED.



6TH FLOOR PLAN LARCOM BUILDING SCALE: 1/8"=1'-0"



5TH FLOOR PLAN LARCOM BUILDING SCALE: 1/8"=1'-0"

- 5 RELOCATE POWER AND/OR DATA FOR NEW WALL CONSTRUCTION.
6 RELOCATE POWER AND DATA FOR CEILING MOUNTED PROJECTOR.
7 RELOCATE RECEPTACLES AND SWITCHES WITH KITCHEN REWORK. PROVIDE NEW GFCI DEVICES.
8 RELOCATE THERMOSTAT
9 RELOCATE FLOOR OUTLET
10 NEW LIGHT FIXTURE, CONNECT TO LOCAL LIGHTING CONTROL.

GENERAL ELECTRICAL NOTES:

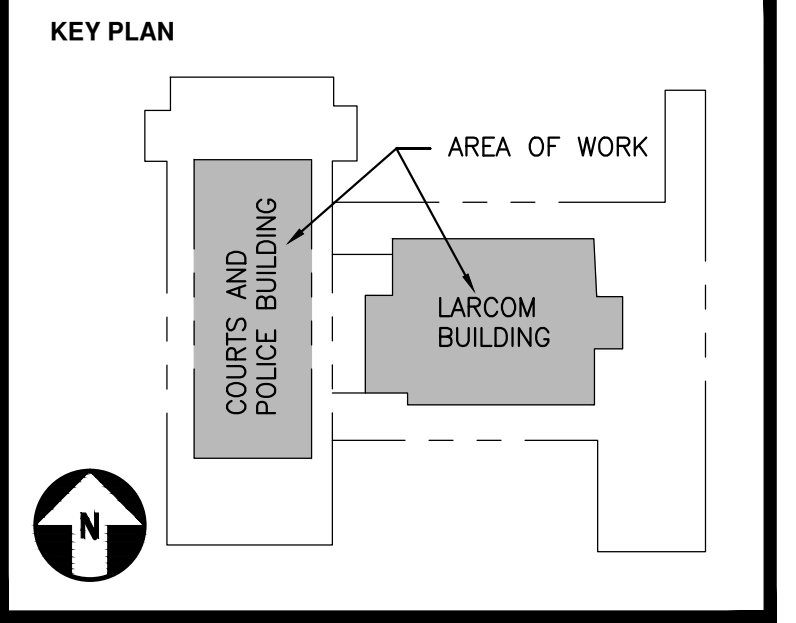
- 1. CODES / NEC: ALL WORK SHALL BE INSTALLED PER THE LATEST ADOPTED EDITION OF THE NEC AND ALL STATE, LOCAL, OWNER AND SITE SPECIFIC CODES HAVING JURISDICTION, INCLUDING MICHIGAN ELECTRICAL CODE RULES, PART B.
2. COORDINATE IN THE FIELD WITH OTHER TRADES TO MAINTAIN REQUIRED CLEARANCES AROUND NEW AND EXISTING ELECTRICAL EQUIPMENT.
3. PANEL SCHEDULES: PROVIDE NEATLY TYPED PANEL DIRECTORIES TO THE ENGINEER AND OWNER FOR ALL PANELBOARDS (NEW AND EXISTING) INSTALLED OR MODIFIED. DESIGNATE LOAD SERVED BY EACH CIRCUIT. REQUIRED INFORMATION SHALL BE COMPLETED FOR EACH CIRCUIT IN EACH PANEL.
4. WIRE: ALL 20 AMP, 120 VOLT CIRCUITS ARE 3/4" C, 2#12 & #12G WITH DEDICATED NEUTRALS. HOMERUNS OVER 50 FEET ARE #10AWG.
5. BRANCH RECEPTACLE LOADS FOR 20 AMP, 120 VOLT CIRCUIT SHALL NOT EXCEED SIX (6) DUPLEX RECEPTACLES PER CIRCUIT.
6. BOX DEPTH: COORDINATE WALL BOX DEPTH WITH OTHER TRADES FOR PROPER PLACEMENT DUE TO WALL COVERING THICKNESS.
7. DEVICE LOCATION: DEVICES MAY BE SCALED ON DRAWINGS AND MOUNTED ON THE NEAREST STUD EXCEPT WHERE ACTUAL DIMENSIONS ARE PROVIDED OR REQUIRED BY ROOM LAYOUT. DO NOT LOCATE DEVICE BOXES BACK-TO-BACK WITHIN WALLS. IN INSULATED WALLS, LOCATE DEVICES IN ADJACENT STUD SPACE.
8. CONDUIT ROUTING: CONCEAL CONDUITS IN WALLS, FLOORS OR ABOVE CEILINGS FOR FINISHED AREAS. EXPOSED WORK IN UNFINISHED AREA SHALL BE INSTALLED PERPENDICULAR OR PARALLEL TO WALLS, CEILINGS, OR STRUCTURAL MEMBERS. DO NOT RUN CONDUIT WITHIN THE FLUTES OF THE ROOF DECK.
9. DISCONNECTS: PROVIDE, MOUNT AND WIRE NON-FUSED SAFETY SWITCHES, NEMA 1, INDOOR OR NEMA 12/3R OUTDOOR, FOR ALL MECHANICAL AND ARCHITECTURAL EQUIPMENT.
10. GROUNDING: PROVIDE GROUNDING AND BONDING PER NEC 250.
11. COMMUNICATION OUTLETS: INSTALL TWO (2) GANG, 3-1/2" DEEP WALL BOX WITH RAISED SINGLE PLASTER RING FOR ALL COMMUNICATION DEVICES. ROUTE 1" EMPTY CONDUIT UP TO ACCESSIBLE CEILING SPACE ABOVE. PROVIDE BUSHINGS AND PULL WIRES IN ALL EMPTY CONDUITS.
12. SMOKE DAMPERS: CONNECT SMOKE DAMPERS TO FIRE ALARM SYSTEM.
13. DOOR HOLD OPEN DEVICES: CONNECT DOOR HOLD OPENS TO FIRE ALARM PANEL. COORDINATE WITH ARCHITECTURAL TRADES.
14. CIRCUIT NUMBERS INDICATED ARE REPRESENTATIVE OF AVAILABLE CIRCUIT BREAKER POSITIONS IN EXISTING PANELBOARDS. CONNECT TO EXISTING AVAILABLE CIRCUIT BREAKER IN PANELBOARD OR PROVIDE NEW CIRCUIT BREAKER. PROVIDE AS-BUILT DOCUMENTATION IDENTIFYING ALL ACTIVE BRANCH CIRCUITS AND LOADS.
15. FIRE STOP ALL OPENINGS IN FIRE RATED WALLS, FLOORS OR CEILINGS.
16. ABOVE CEILING WORK: REMOVE AND REPLACE EXISTING CEILINGS AS REQUIRED FOR ALL SYSTEMS AND ELECTRICAL WORK ABOVE EXISTING CEILINGS. REPLACE ANY DAMAGED CEILING TILES OR GRID. FOR HARD CEILINGS CONTRACT APPROPRIATE TRADES TO REMOVE AND REPAIR CEILING. PROVIDE ACCESS PANELS AS NECESSARY.
17. ALL RECEPTACLES WITHIN KITCHEN AREAS SHALL BE GFCI PROTECTED.

ELECTRICAL LEGEND

- CONDUIT RUN
NEW BUILDING CONSTRUCTION
EXISTING CONSTRUCTION
CONSTRUCTION TO BE REMOVED (DEMOLITION)
CONDUIT HOME RUN TO PANEL - PANEL AND CIRCUIT NO. INDICATED
JUNCTION BOX
SINGLE POLE TOGGLE SWITCH
DOUBLE POLE SWITCH
WALL MOUNTED, 5AMP OCCUPANCY SENSOR LIGHT SWITCH
WATSTOPPER, SENSORSWITCH OR LEVITON-IPV051LZ
2X4 LIGHT FIXTURE
LIGHT FIXTURE CONNECTED TO NIGHT LIGHT/LIFE SAFETY CIRCUIT OR W/EMERGENCY BATTERY UNIT
LIGHT FIXTURE - CEILING/WALL MOUNT
LED EXIT LIGHT - PENDANT/ WALL MOUNTED
DUPLEX RECEPTACLE
DUPLEX RECEPTACLE - FLOOR MOUNTED
DUPLEX RECEPTACLE, G.F.C.I. TYPE
DUPLEX RECEPTACLE, G.F.C.I. TYPE - ABOVE COUNTER TOP
RECESSED ELECTRICAL PANEL - NEW/EXISTING
SURFACE MOUNTED ELECTRICAL PANEL - NEW/EXISTING
TELEPHONE/DATA OUTLET
FIRE ALARM PULLSTATION
FIRE ALARM HORN/STROBE
CARD READER - NEW/EXISTING
PROJECTOR

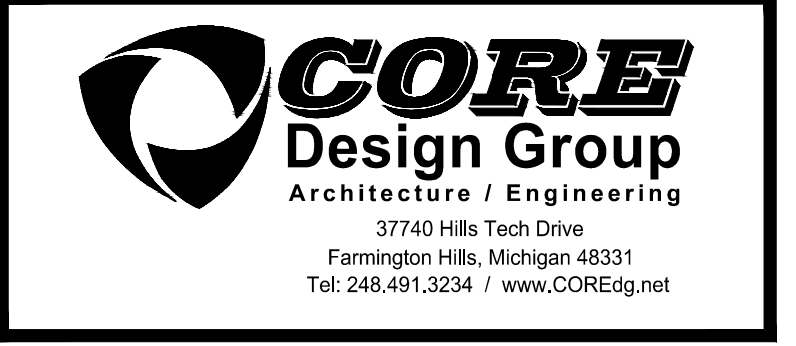
GRAPHIC SCALES

Table with columns: ISSUED DATE, REVIEW, ISSUED FOR, BIDS. Rows include dates 12/19/19 and 01/10/2020.



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PROJECT TITLE: CITY OF ANN ARBOR MUNICIPAL CENTER RENOVATIONS

SHEET TITLE: ELECTRICAL PLANS

Table with columns: DESIGNED BY, DRAWN BY, CHECKED BY, JOB No., SHEET No. Values include D.ISENOGLE, J.RITCHIE, and E-1 of 1.