MUNICIPAL CENTER RENOVATIONS

CITY OF ANN ARBOR 301 E HURON ST. ANN ARBOR, MI 48104

BID

SUED FOR

RENOV

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CDG JOB NUMBER

19-107.AA

CLIENT ID NUMBER

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ISSUED FOR

BIDS

ISSUE DATE

01/10/2020

BUILDING AND CODE INFORMATION

GOVERNING BUILDING CODE(s):

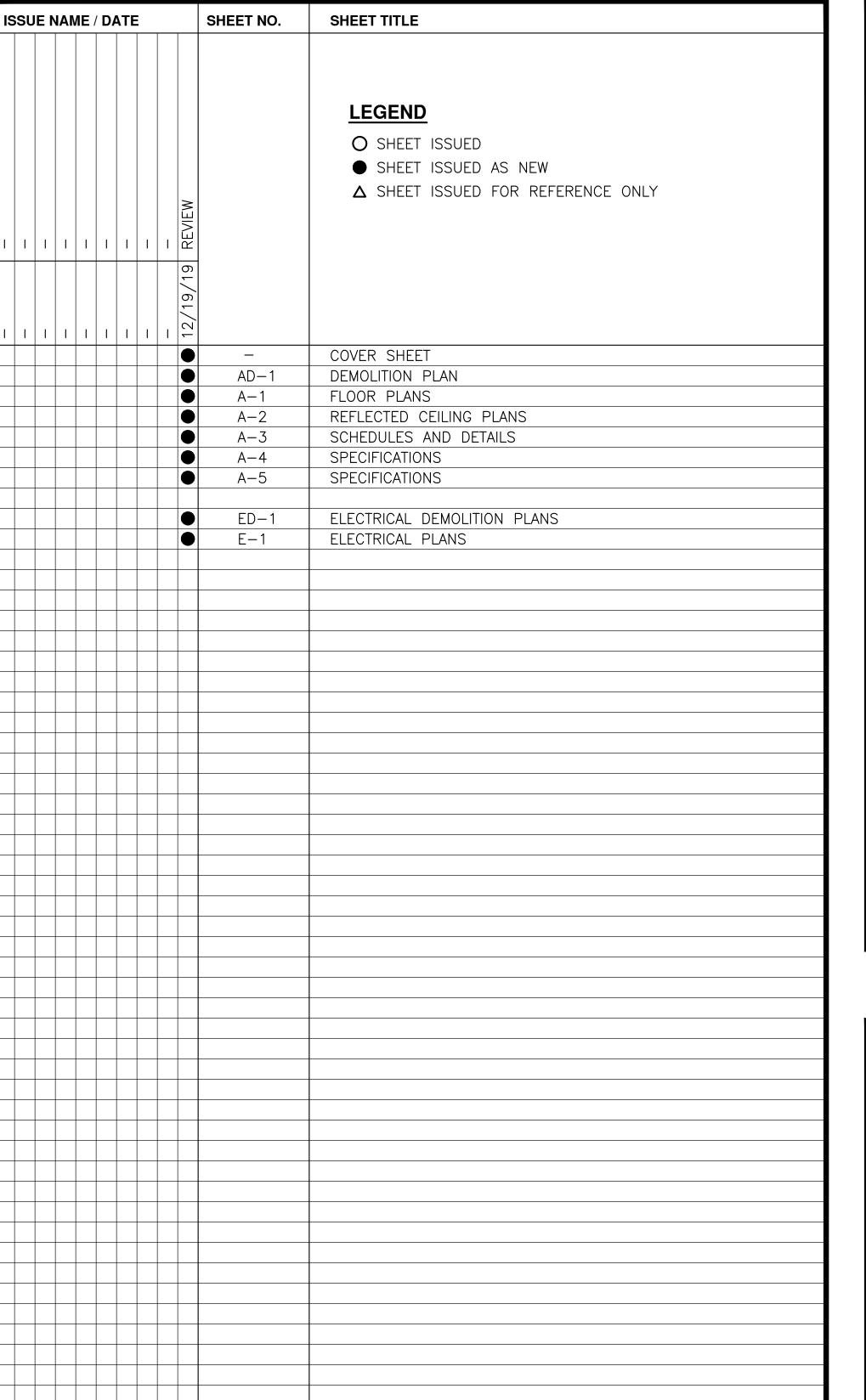
2015 MBC Michigan Building Code
ASHRAE / IESNA 90.1-2013
2015 Michigan Mechanical Code
2015 Michigan Plumbing Code
2014 NEC National Electrical Code
Michigan Electrical Code Rules Part 8
NFPA 101 Life Safety

USE GROUP & OCCUPANCY CLASSIFICATION:

B - BUSINESS

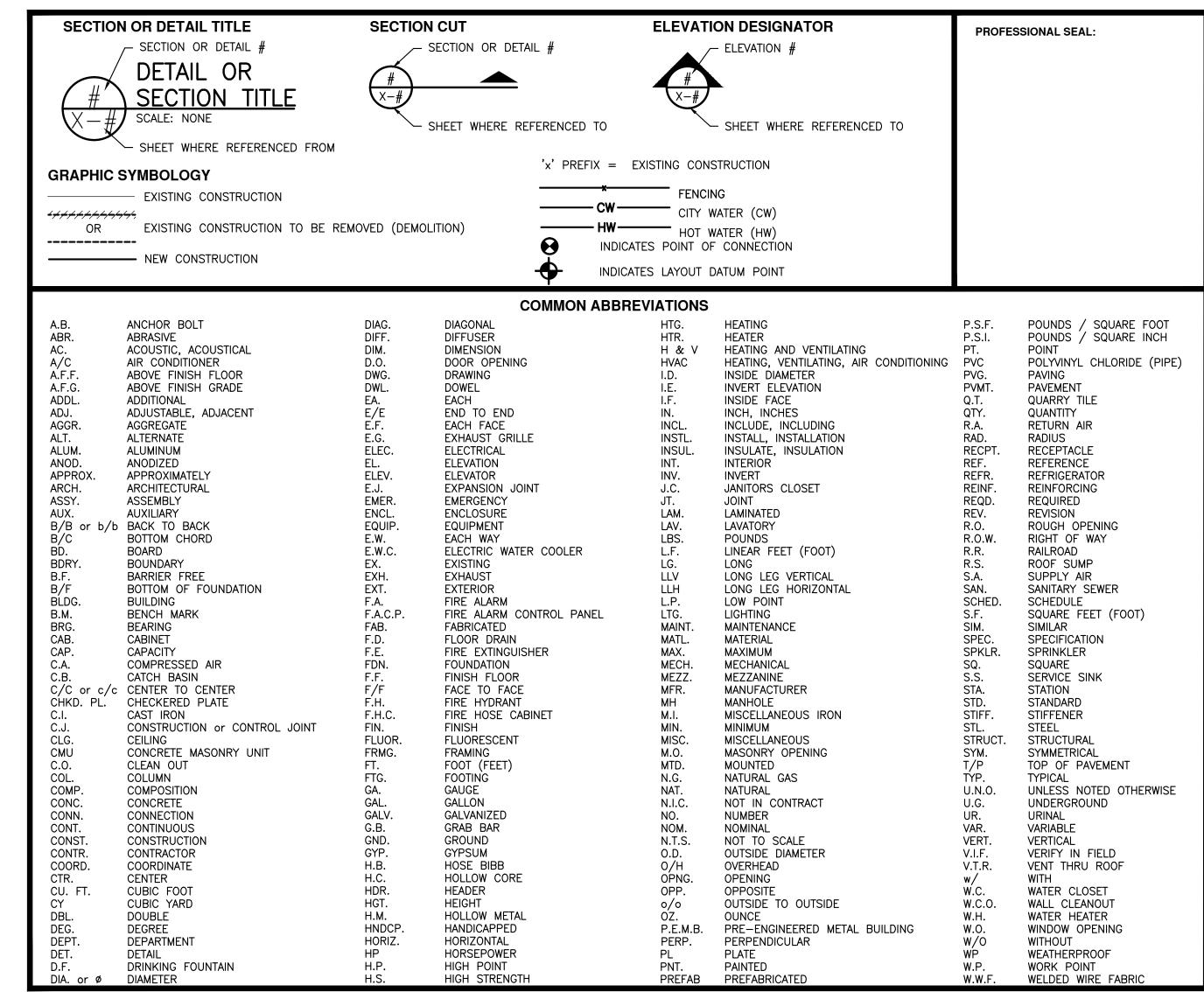
FIRE SUPPRESSION SYSTEM:

Fully Sprinkled and Monitored



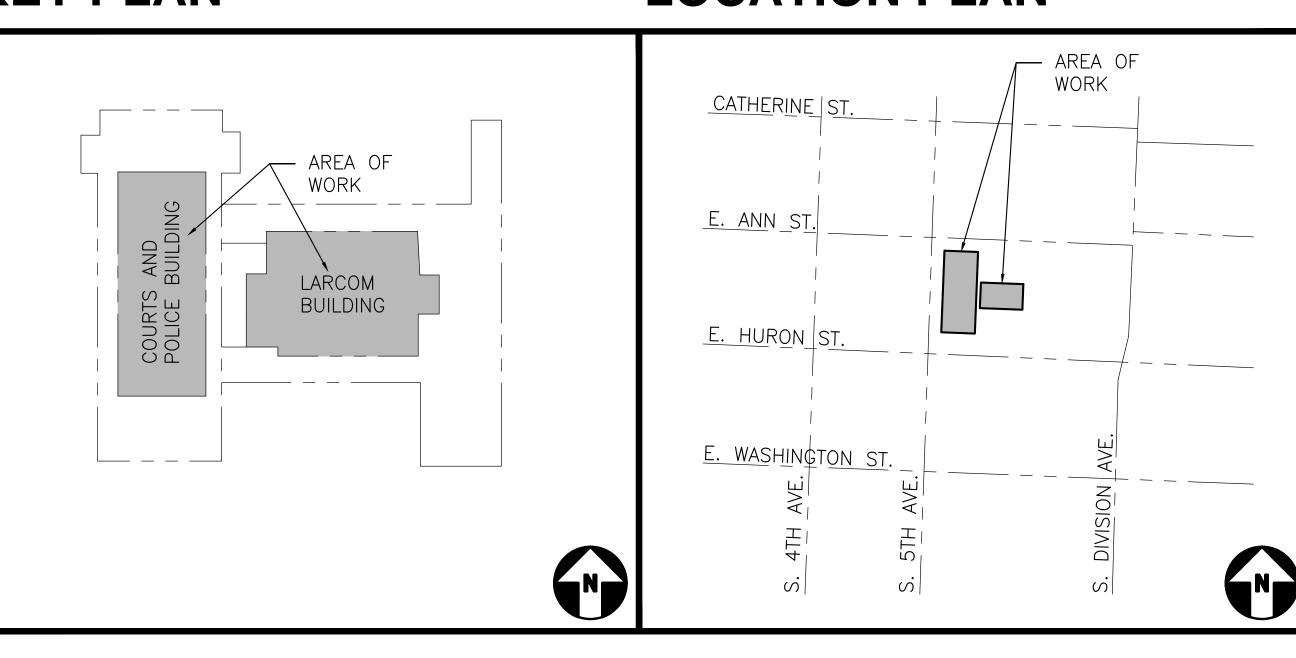
DRAWING INDEX

LEGEND

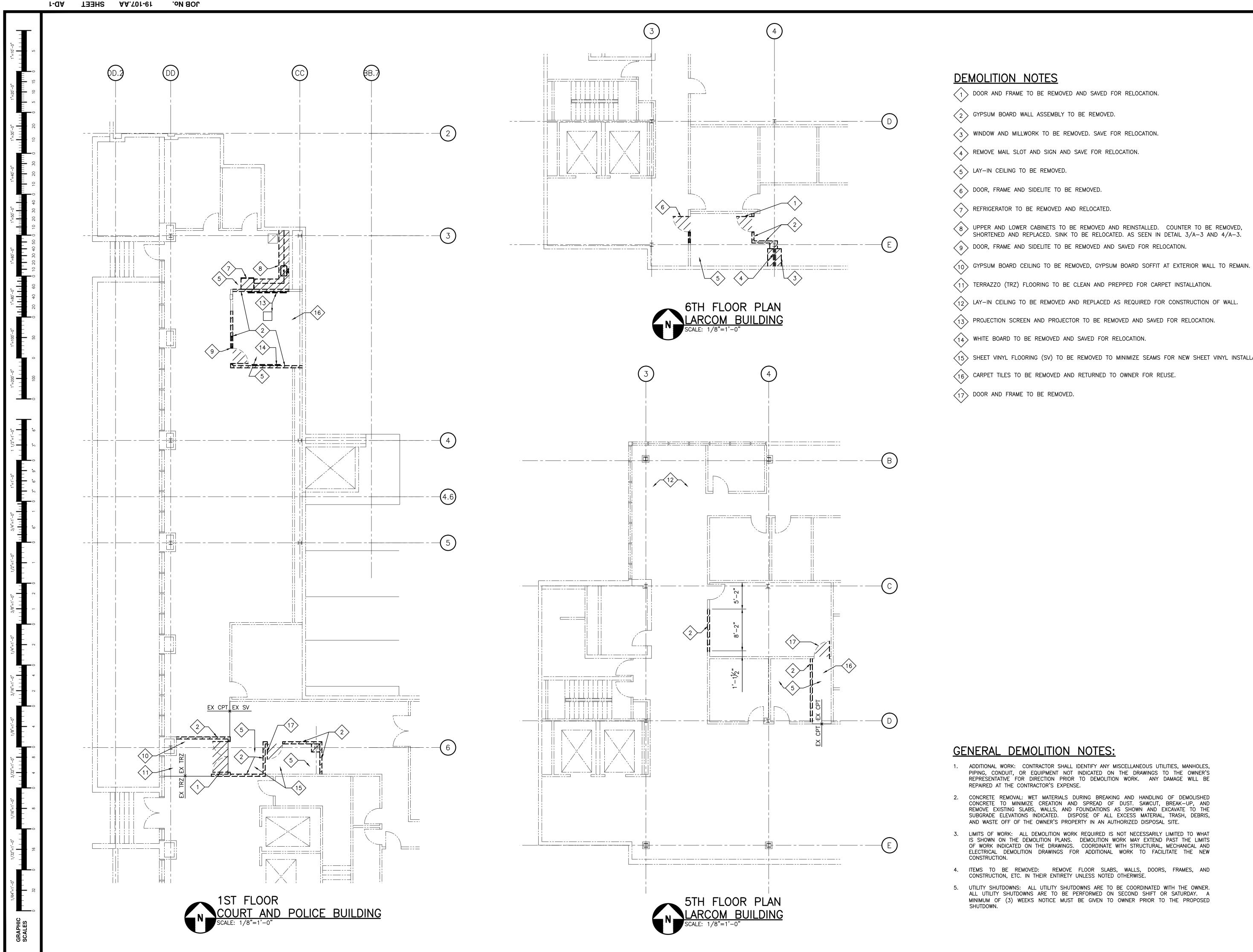


KEY PLAN

LOCATION PLAN



E Design Group, Inc. MUN

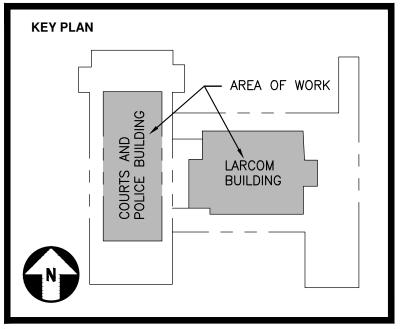


Sheet Size: 24" x 36" (Arch D)

- $\langle 15
 angle$ SHEET VINYL FLOORING (SV) TO BE REMOVED TO MINIMIZE SEAMS FOR NEW SHEET VINYL INSTALLATION.

01/10/2020

12/19/19



PROFESSIONAL SEAL:

DO NOT SCALE DRAWING



CLIENT: 301 E HURON ST. ANN ARBOR, MI 48104

PROJECT TITLE:

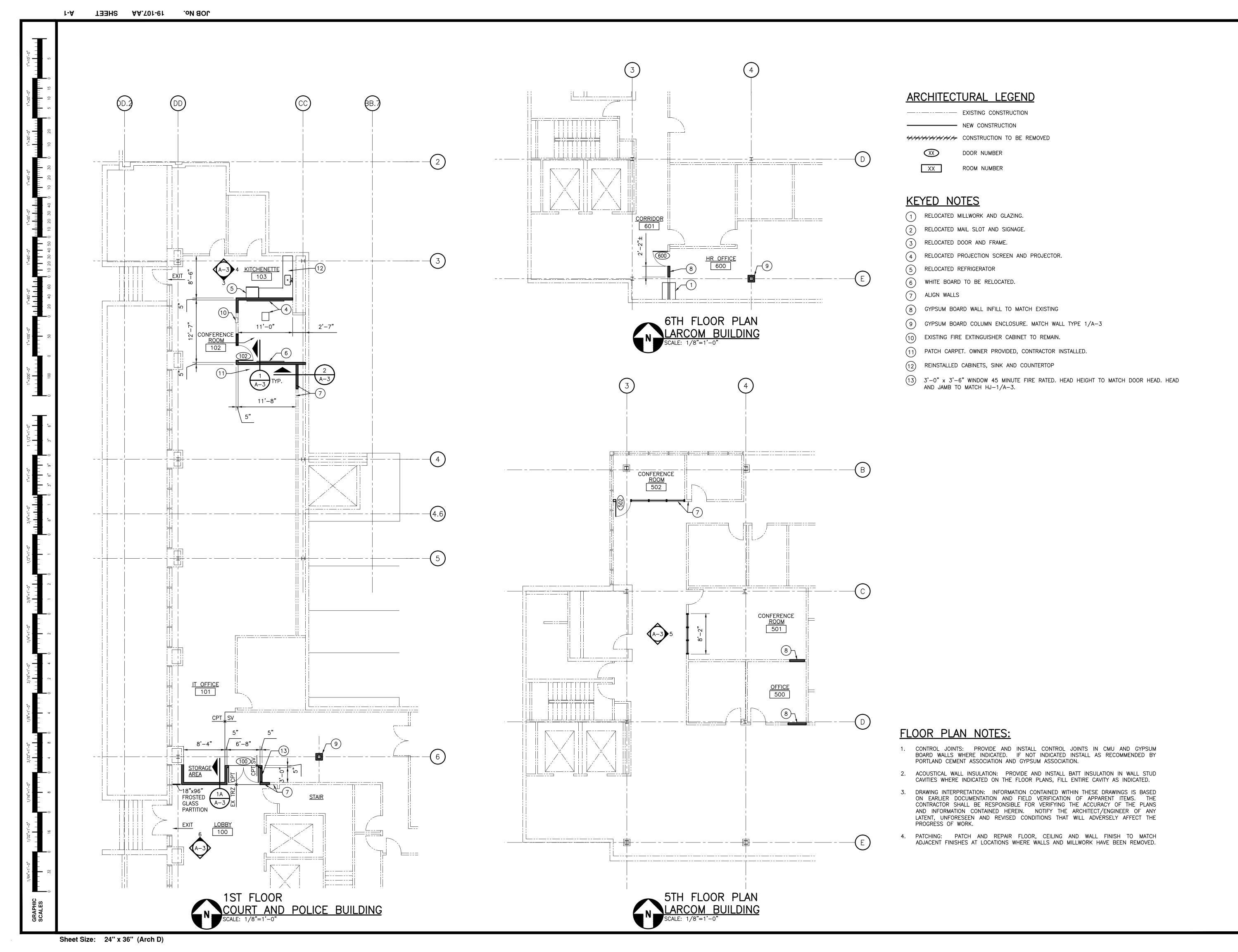
CITY OF ANN ARBOR **MUNICIPAL CENTER RENOVATIONS**

SHEET TITLE:

DEMOLITION PLAN

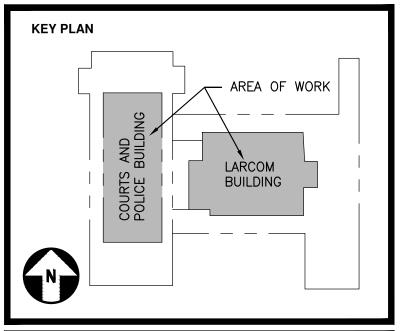
DESIGNED BY:	D.ISENOGLE
DRAWN BY:	D.ISENOGLE
CHECKED BY:	J.RITCHIE
JOB No.:	19-107.AA

AD-1 of 1



12/19/19 REVIEW
01/10/2020 BIDS

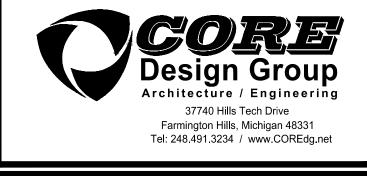
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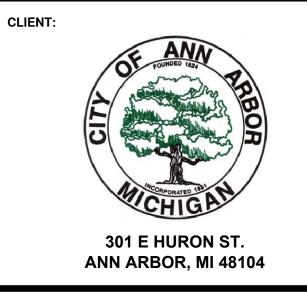


PROFESSIONAL SEAL:

ISSUED DATE:

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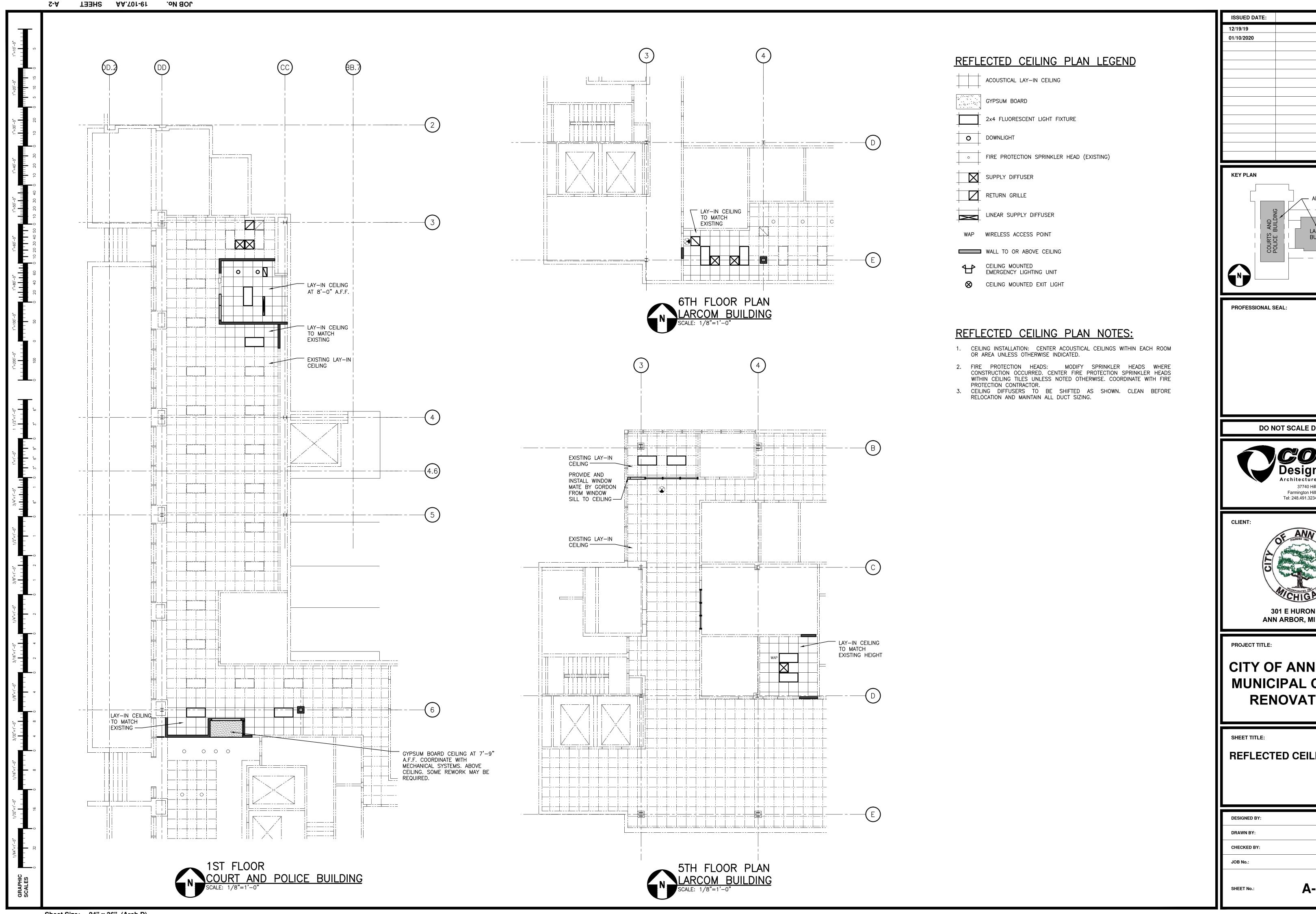
PROJECT TITLE:

CITY OF ANN ARBOR MUNICIPAL CENTER RENOVATIONS

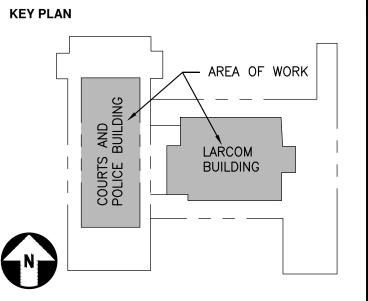
SHEET TITLE:

FLOOR PLANS

SHEET No.:	A-1 of 5
JOB No.:	19-107.AA
CHECKED BY:	J.RITCHIE
DRAWN BY:	D.ISENOGLE
DESIGNED BY:	D.ISENOGLE

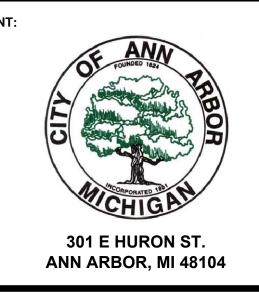


ISSUED FOR: **REVIEW**



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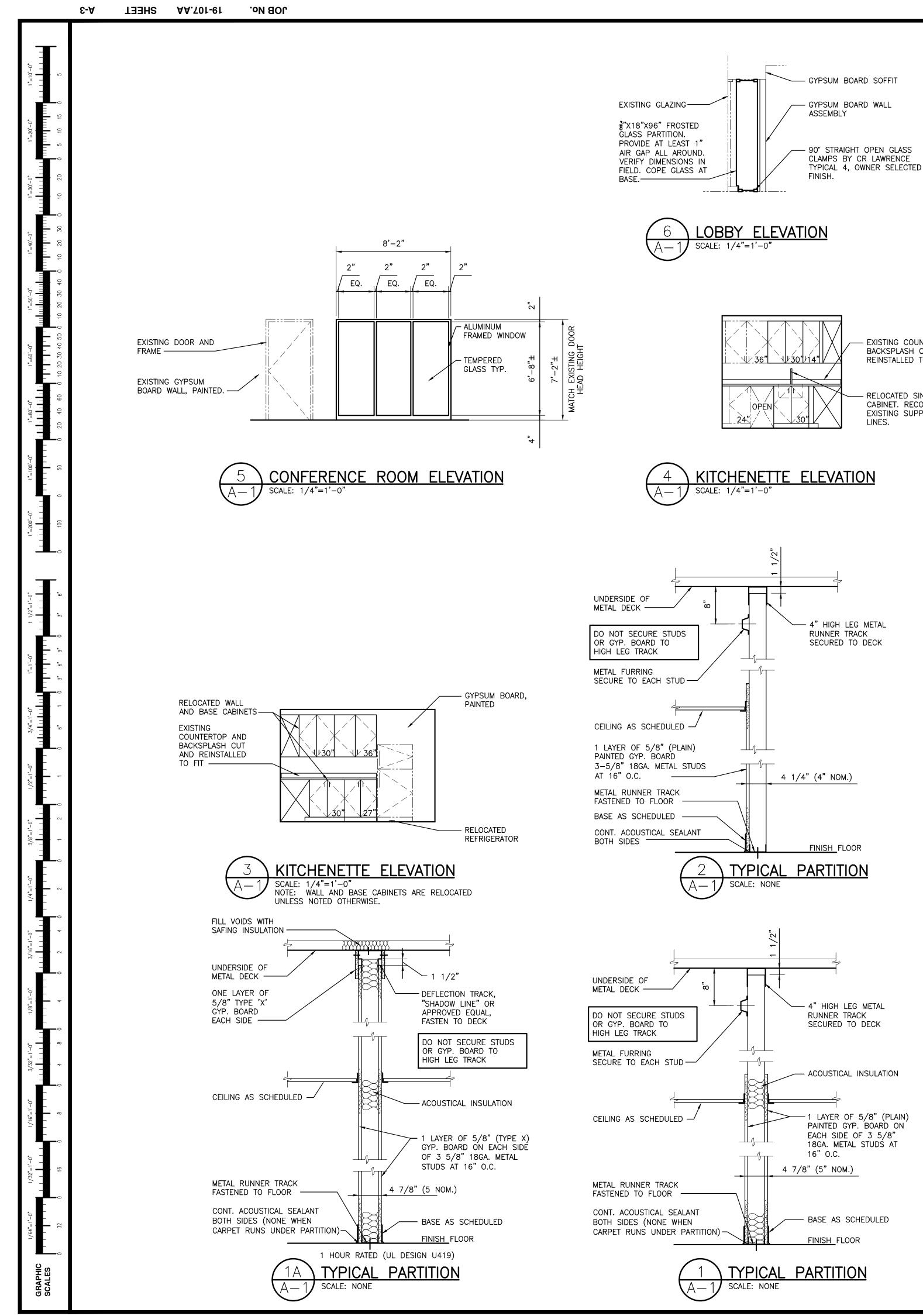


CITY OF ANN ARBOR MUNICIPAL CENTER **RENOVATIONS**

REFLECTED CEILING PLANS

	A 0 of 5
JOB No.:	19-107.AA
CHECKED BY:	J.RITCHIE
DRAWN BY:	D.ISENOGLE
DESIGNED BY:	D.ISENOGLE

SHEET No.:	A-2 of 5
JOB No.:	19-107.AA
CHECKED BY:	J.RITCHIE
DRAWN BY:	D.ISENOGLE
DESIGNED BY:	D.ISENOGLE



	ROOM FINISH SCHEDULE								
					WALLS	S			
ROOM	ROOM NAME	FLOOR	BASE	NORTH	SOUTH	EAST	WEST	CEILING	REMARKS
001	CORRIDOR	EX	RB	PNT	_	-	_	EX	1
002	CORRIDOR	EX	RB	-	PNT	_	_	EX	1
100	LOBBY	EX/CPT	RB	PNT	_	_	_	EX/GYP	2
101	IT OFFICE	EX/CPT/SV	RB	-	PNT	_	_	EX/ACOUS	2,4
102	CONFERENCE ROOM	CPT	RB	PNT	PNT	PNT	PNT	ACOUS	2
103	KITCHENETTE	EX	EX	_	PNT	PNT	_	EX	_
500	OFFICE	CPT	RB	PNT	PNT	PNT	PNT	ACOUS	2
501	CONFERENCE ROOM	EX	RB	-	PNT	_	_	EX	_
502	CONFERENCE ROOM	EX	RB	PNT	_	PNT	PNT	EX	_
600	HR OFFICE	EX/CPT	EX/RB	-	_	_	PNT	EX/ACOUS	1,2,3
601	CORRIDOR	EX	EX/RB	_	_	PNT	_	EX	1

GENERAL REQUIREMENTS

- EXISTING COUNTERTOP AND

- RELOCATED SINK AND BASE

EXISTING SUPPLY AND WASTE

CABINET. RECONNECT TO

BACKSPLASH CUT AND

REINSTALLED TO FIT.

- 1. ROOM NAME AND ROOM NO. CORRESPOND TO THE TERMINOLOGY AND NUMBERS INDICATED ON
- THE DRAWINGS. 2. MATERIALS & FINISHES INDICATE THE SPECIFIC MATERIALS AND FINISHING SYSTEMS TO BE USED TO CONSTRUCT AND FINISH THE FLOOR, BASE, WALLS AND CEILING, IN CONFORMANCE
- WITH THE CODES DEFINED BELOW. 3. IF MORE THAN ONE FINISH IS INDICATED FOR A ROOM OR AREA, SEE PLANS AND ELEVATIONS FOR MORE PRECISE DEFINITION.
- 4. REMARKS INDICATES ANY SPECIAL REQUIREMENTS FOR THE MATERIALS AND FINISHES IN A ROOM. IF NUMBERED, SEE CORRESPONDING NOTE AT BOTTOM OF SCHEDULE. C-G INDICATES THE COLOR GROUP OF THE FINISHES FOR THAT ROOM - SEE COLOR SCHEDULE.

ROOM FINISH SCHEDULE GENERAL NOTES

- 1. MATCH EXISTING BASE.
- 2. CARPET TILES WILL BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.
- 3. PAINT COLUMN ENCLOSURE.
- 4. SHEET VINYL FLOORING IS OWNER PROVIDED, CONTRACTOR INSTALLED.

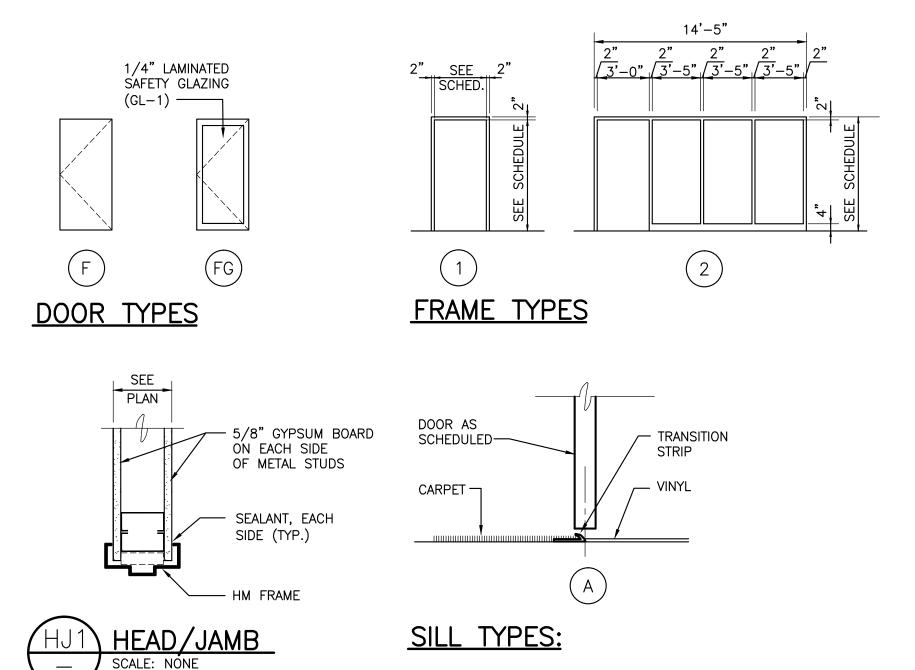
															— HADDWADE CETC
	DOOR AND FRAME SCHEDULE								HARDWARE SETS						
	DOOR						FRAN	ИE		DETAILS	SILL	ABEL JTES)	WARE SPECS)	REMARKS	SET 1 3 PR BB HINGES 2 CLOSERS
NO.	SIZE	TYPE	MAT.	FINISH	GLASS	TYPE	MAT.	FINISH	HEAD	JAMB	SILL	WINC OIL I	HARD (SEE S	REMARKS	2 WALL BUMPER 1 ELECTRIC POWER TR
001	-	-	_	PNT	_	_	_	PNT	HJ1	HJ1	-	_	-	1	1 ELECTRIC STRIKE (F 1 LOW VOLTAGE TRANS
100	_	_	_	PNT	_	_	_	PNT	HJ1	HJ1	_	_	-	1	1 SET MANUAL FLUSH 1 DUST PROOF STRIKE 1 SET DOOR COORDIN
102	-	_	_	_	_	_	_	PNT	HJ1	HJ1	_	_	_	1	2 EXIT DEVICES
502	3-0 x 8-0	FG	AL	FF	GL-1	2	AL	FF	HJ1	HJ1	Α	_	2	2	SET 2 1-1/2 PR BB HINGES
600	-	_	_	_	_	1	ı	PNT	HJ1	HJ1	1	_	1	1	1 WALL BUMPER 1 LOCKSET (OFFICE)

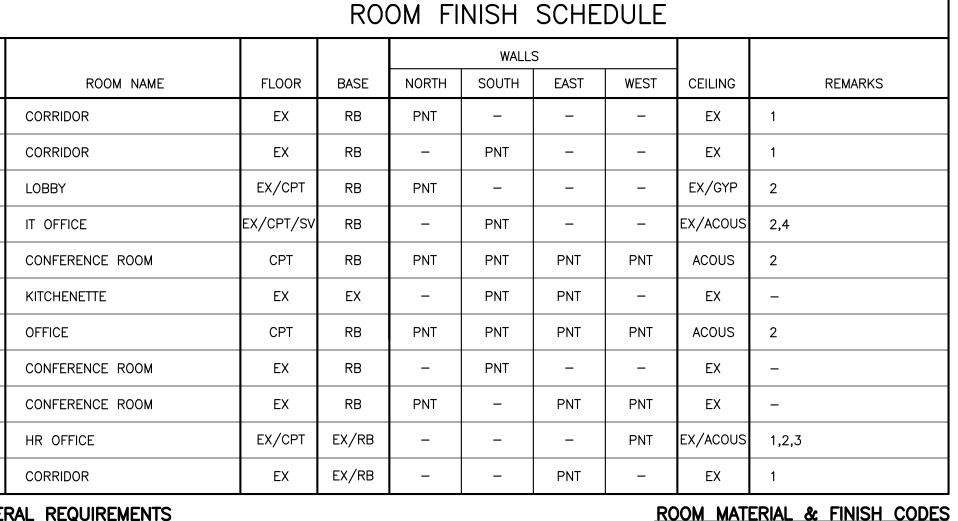
GENERAL REQUIREMENTS

- 1. REFER TO THE PLANS FOR DOOR LOCATIONS AND SWING AS APPLICABLE.
- 2. DOOR DESIGNATION CORRESPONDS TO THE DOOR DESIGNATION (NUMBER OR GROUP) INDICATED ON THE DRAWINGS. 3. DOOR SIZE INDICATES THE WIDTH AND HEIGHT OF THE DOOR IN FEET-INCHES(EXAMPLE: A 3-0 X
- 7-0 DOOR IS 3'-0" WIDE BY 7'-0" HIGH). ANY SIZE PREFACED BY 2/ DENOTES A PAIR OF DOORS FOLLOWED BY THE SIZE OF EACH LEAF. ALL SWING DOORS ARE 1-3/4" THICK UNLESS OTHERWISE NOTED. DOOR AND FRAME CODES DEFINED AT RIGHT.
- 4. MATERIALS AND FINISHES (CODES DEFINED BELOW).
 5. DETAILS HD-JB-SL INDICATE THE HEAD-JAMB-SILL DETAIL NUMBERS SHOWN ON THE DRAWINGS.
- DETAIL NUMBERS WITHOUT SHEET NUMBERS ARE ON THIS SHEET.
- 6. HW SET INDICATES HARDWARE SET NUMBERS SCHEDULED IN THE FINISH HARDWARE SCHEDULE. X INDICATES A DOOR WITHOUT A HARDWARE SET IN THE SCHEDULE.
- 7. REMARKS INDICATES ANY SPECIAL REQUIREMENTS FOR A DOOR AND FRAME. IF NUMBERED, SEE CORRESPONDING NOTE AT BOTTOM OF SCHEDULE.

DOOR SCHEDULE NOTES

- 1. RELOCATED DOOR, FRAME, AND HARDWARE.
- 2. GLAZING AND DOOR OFFICE FRONT TO BE FULL HEIGHT TO MATCH EXISTING CEILING HEIGHT.





RESILIENT BASE CARPETING CPT SHEET VINYL ACOUS ACOUSTICAL LAY-IN GYPSUM BOARD GYP. BD. **EXISTING**

PAINT

HARDWARE SETS

3 PR BB HINGES 2 CLOSERS 2 WALL BUMPER

- 1 ELECTRIC POWER TRANSFER 1 ELECTRIC STRIKE (FAIL SAFE) 1 LOW VOLTAGE TRANSFORMER 1 SET MANUAL FLUSH BOLTS
- 1 DUST PROOF STRIKE 1 SET DOOR COORDINATORS 2 EXIT DEVICES
- 1-1/2 PR BB HINGES 1 WALL BUMPER

ABBREVIATION LEGEND

MATERIAL AL ALUMINUM STL STEEL

HM HOLLOW METAL WD WOOD FINISH

FACTORY FINISH PAINTED PNT STAINED

CLIENT:

ISSUED DATE:

12/19/19

01/10/2020

KEY PLAN

PROFESSIONAL SEAL:

ISSUED FOR:

- AREA OF WORK

LARCOM

BUILDING

REVIEW

301 E HURON ST. **ANN ARBOR, MI 48104**

DO NOT SCALE DRAWING

Architecture / Engineering

37740 Hills Tech Drive

Farmington Hills, Michigan 48331

Tel: 248.491.3234 / www.COREdg.net

PROJECT TITLE:

CITY OF ANN ARBOR MUNICIPAL CENTER **RENOVATIONS**

SHEET TITLE:

SCHEDULES AND DETAILS

DESIGNED BY:	D.ISENOGLE
DRAWN BY:	D.ISENOGLE
CHECKED BY:	J.RITCHIE
JOB No.:	19-107.AA

A-3 of 5

Sheet Size: 24" x 36" (Arch D)

GENERAL CONDITIONS AND SPECIFICATIONS / DIVISION

- GENERAL CONDITIONS: THE LATEST EDITION OF THE OWNER'S SITE SPECIFIC FACILITY STANDARDS ARE HEREBY MADE A PART OF THIS SPECIFICATION AND CONTRACT DOCUMENTS. CONTRACTOR SHALL PROVIDE AND SCHEDULE ALL NECESSARY STATE AND LOCAL PERMITS, TESTS AND INSPECTIONS. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF ALL GOVERNING LOCAL CODES AND STANDARDS, INCLUDING, BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE, AS WELL AS OWNERS' INSURANCE AGENCIES.
- GENERAL SCOPE: CONTRACTOR SHALL PROVIDE AND INSTALL ALL ITEMS OF EQUIPMENT, MATERIALS OR LABOR AS SHOWN ON DRAWINGS OR REQUIRED OR SPECIFIED HEREIN, TO COMPLETE THE WORK OF THE PROJECT. ALL EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE LATEST RECOMMENDATIONS AND SPECIFICATIONS OF THE MANUFACTURER OR TRADE INVOLVED, OWNER'S STANDARDS AND REFERENCE SPECIFICATIONS.
- 3. PERMITS AND INSPECTIONS: FACH CONTRACTOR SHALL OBTAIN AND PAY FEES FOR ALL NECESSARY PERMITS FOR THE SCOPE OF WORK AND SCHEDULE ALL INSPECTIONS. FURNISH OWNER WITH ALL CERTIFICATES OF INSPECTION AND APPROVAL AT PROJECT COMPLETION.
- SITE INSPECTION: EACH CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS AND CONDITIONS, AS THEY MAY AFFECT THEIR WORK OR THE PROJECT IN TOTAL. NOTIFY OWNER'S AGENT OF ALL DISCREPANCIES PRIOR TO BEGINNING WORK.
- FIELD OBSTRUCTIONS: ERECTOR SHALL REMOVE EXISTING BRACING AND OTHER MEMBERS AND UTILITIES, WHICH INTERFERE WITH NEW AND REWORKED MEMBERS. RECONNECT AS REQUIRED AFTER NEW WORK IS COMPLETED.
- SAFETY: COMPLY WITH ALL OSHA AND OWNER'S SITE SPECIFIC SAFETY STANDARDS. ADDITIONAL FALL PROTECTION DEVICES SHALL BE UTILIZED AS REQUIRED BY OWNER'S STANDARDS. CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL MEANS REQUIRED TO PROTECT AND MAINTAIN THE SAFETY, INTEGRITY, AND STABILITY OF ALL EXISTING AND NEW CONSTRUCTION THAT MAY BE AFFECTED BY WORK.
- BARRICADES: PROVIDE BARRICADES AND OSHA APPROVED GUARDING AROUND THE AREA OF WORK. SHOULD THE OWNERS AGENT DETERMINE THE PROTECTION SUPPLIED IS NOT ADEQUATE, THE CONTRACTOR SHALL PROVIDE ADDITIONAL PROTECTION DEEMED NECESSARY AT NO ADDITIONAL COST.
- WARRANTY: CONTRACTOR SHALL PROVIDE FOR A MINIMUM 1 YEAR WRITTEN GUARANTEE FOR ALL EQUIPMENT, MATERIALS AND WORKMANSHIP, UNLESS OTHERWISE SPECIFIED OR INDICATED TO BE FOR A LONGER PERIOD, TO START FROM DATE OF OWNER'S ACCEPTANCE OF COMPLETED WORK.
- PRODUCTS, GENERAL: INSTALL IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. ALTERNATE MATERIALS OR METHODS MAY BE SUBMITTED TO THE OWNER'S AGENT FOR REVIEW. A MINIMUM OF (2) WEEKS PRIOR TO ANTICIPATED USE AT JOB SITE. INCLUDE ANY COST OR TIME SAVINGS OR INCREASES TO THE WORK FOR THE REQUESTED CHANGE. ALL ALTERNATES SHALL EQUAL OR EXCEED PERFORMANCE OF ITEMS INDICATED ON DRAWINGS. DECISIONS OF THE OWNER ARE FINAL.
- 10. CONTAMINATED / HAZARDOUS MATERIAL: MAINTAIN COPIES OF MSDS SHEETS FOR ALL CHEMICALS AND PRODUCTS AT PROJECT SITE. CONTACT OWNER'S AGENT IF SUSPECTED CONTAMINATED MATERIAL IS UNCOVERED, OR IF SPILLS OF HAZARDOUS MATERIAL OCCUR DURING THE WORK FOR ACTION REQUIRED. LEAD PAINT REMOVAL AND DISPOSAL FROM EXISTING CONSTRUCTION SHALL BE PERFORMED PER ALL FEDERAL AND LOCAL REGULATIONS.
- 11. CLEANUP: ON A DAILY BASIS EACH TRADE SHALL REMOVE AND DISPOSE OF ALL EXCESS MATERIALS AND DEBRIS FROM THE SITE, AS DIRECTED BY THE OWNER'S AGENT. CONTRACTOR SHALL LOAD AND TRANSPORT ALL MATERIAL TO DISPOSAL LOCATION. IF SUCH CLEAN UP IS NOT COMPLETED TO THE OWNER'S SATISFACTION, THE OWNER MAY PERFORM THE WORK WITH THEIR OWN FORCES. THE COST OF SUCH WORK SHALL THEN BE DEDUCTED FROM THE TRADE INVOLVED OR BACK CHARGED TO SAME. AT THE COMPLETION OF WORK, REMOVE ALL TEMPORARY ENCLOSURES AND PROTECTIVE DEVICES AND LEAVE THE PREMISES CLEAN.
- 12. BID DOCUMENT CONFLICTS / ERRORS / OMISSIONS: SHOULD A BIDDER FIND ANY DISCREPANCY IN THE DRAWINGS OR SPECIFICATIONS, OR BE IN DOUBT AS TO THEIR MEANING, THEY SHALL NOTIFY THE OWNER'S AGENT IN WRITING AT ONCE FOR DIRECTION. WHERE CONFLICTS OCCUR BETWEEN NOTES. DETAILS AND/OR SPECIFICATIONS. THE STRICTEST PROVISION SHALL GOVERN. CONTRACTOR SHALL IDENTIFY ANY MISCELLANEOUS UTILITIES OR EQUIPMENT NOT INDICATED ON THE DRAWINGS TO THE OWNER'S AGENT FOR DIRECTION PRIOR TO DEMOLITION WORK. SUBCONTRACTORS SHALL DIRECT ALL QUESTIONS TO GENERAL CONTRACTOR.
- 13. DEFECTS / ERRORS / REPAIRS: INSTALLATION ERRORS, DEFECTIVE WORK, AND DAMAGE TO NEW OR EXISTING CONSTRUCTION, AS DETERMINED BY THE OWNER'S AGENT, SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. THE EXTENT AND TYPE OF REPLACEMENT OR REPAIRS SHALL BE IN ACCORDANCE WITH METHODS APPROVED BY THE
- 14. SCHEDULE: ALL WORK AS INDICATED ON THE DRAWINGS SHALL BE COMPLETED IN ACCORDANCE WITH OWNER'S SCHEDULE. SUBMIT A DETAILED SCHEDULE TO OWNER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK. SCHEDULE MUST INDICATE THE START AND COMPLETION DATE FOR EACH INDIVIDUAL TASK IN THE SCOPE, INCLUDING ALL MATERIAL DELIVERIES. ALL WORK SCHEDULES AND DELIVERIES SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER. CONSTRUCTION OPERATIONS SHALL NOT INTERFERE WITH OWNER'S DAILY OPERATIONS UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED. THE NUMBER OF VEHICLES ENTERING/EXITING THE AREA MUST BE KEPT TO A MINIMUM.
- 15. QUESTIONS: RESPONSE WILL ONLY BE MADE TO WRITTEN OR EMAIL REQUESTS FOR INFORMATION. DIRECT AND ROUTE ALL QUESTIONS TO THE ENGINEER'S COORDINATOR OR OWNER'S AGENT;

ENGINEER'S COORDINATOR:

OWNER'S AGENT:

JOHN RITCHIE JRITCHIE@COREDG.NET MATT KULHANEK MJKULHANEK@A2GOV.ORG

<u>SECTION 07210 BUILDING INSULATION</u>

A. FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED FOR THE COMPLETION OF THE WORK SPECIFIED IN THIS DIVISION IN ACCORDANCE WITH THE SPECIAL CONDITIONS AND GENERAL CONDITIONS IN DIVISION 1, AND THE DRAWINGS.

SUBMITTALS A. SUBMIT PRODUCT DATA FOR STANDARD MANUFACTURED ITEMS. MATERIALS

- A. ACOUSTICAL BATT INSULATION: ASTM C665, TYPE I, MINIMUM 3-1/2 INCHES THICK (UNLESS DIMENSIONED OTHERWISE), 16 INCHES OR 24 INCHES WIDE COMMERCIAL WIDTH, UN-FACED, GLASS FIBER ACOUSTICAL BATT INSULATION, FLAME SPREAD 10, SMOKE DEVELOPMENT 10. STC RATING BASED ON COMPLETE WALL ASSEMBLY.
- FASTENERS FOR SECURING BLANKETS IN PLACE SHALL BE AS RECOMMENDED BY THE INSULATION MANUFACTURER AND APPROVED BY THE ARCHITECT-ENGINEER.
- TAPE SHALL BE A PRESSURE-SENSITIVE TAPE 3" WIDE, WITH FOIL REINFORCED FACING MATCHING THE INSULATION FACING, AS RECOMMENDED BY THE INSULATION MANUFACTURER. D. SEALANT SHALL BE RECOMMENDED BY THE INSULATION MANUFACTURER.
- A. INSTALL MATERIALS IN MANNER AS DETAILED, AS SPECIFIED IN THIS SECTION AND AS RECOMMENDED BY THE MANUFACTURER IN EACH CASE. EACH SYSTEM SHALL BE COMPLETE IN EACH AREA TO PROVIDE A CONTINUOUS INSULATION BARRIER THROUGHOUT EACH SUCH AREA. PACK ALL VOID SPACES WITH INSULATION AND SEAL OR TAPE. ADJUSTING AND PATCHING
- INSPECT INSULATION, INSTALLED AS PART OF THE WORK OF THIS SECTION, JUST PRIOR TO ITS BEING CONCEALED OR COVERED BY SUBSEQUENT CONSTRUCTION AND ALSO AT COMPLETION OF THE PROJECT BEFORE ACCEPTANCE BY THE OWNER.
- REPAIR OR REMOVE AND REPLACE ANY INSULATION THAT HAS BECOME TORN, DISPLACED, WATER-SOAKED. OR OTHERWISE DAMAGED SO THAT IT WILL NOT FUNCTION AS A THERMAL BARRIER FOR THAT TYPE OF INSULATION OR AS A SOUND BARRIER FOR THE SOUND-ATTENUATING BLANKETS.

SECTION 07900 JOINT SEALANTS

- A. FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED FOR THE COMPLETION OF THE WORK SPECIFIED IN THIS DIVISION IN ACCORDANCE WITH THE SPECIAL CONDITIONS AND GENERAL CONDITIONS IN DIVISION 1, AND THE DRAWINGS.
- A. FLASTOMERIC JOINT SEALANTS: SEALANTS THAT PROVIDE AND MAINTAIN WATERTIGHT AND AIRTIGHT JOINTS AND SEALS WITHOUT THE DETERIORATION AND STAINING OF ADJACENT MATERIALS.

Project site conditions

- A. DO NOT INSTALL COMPOUNDS WHEN AMBIENT AIR TEMPERATURE IS LESS THAN 40 DEGF OR WHEN RECESSES ARE WET OR DAMP: PROVIDE TEMPORARY HEATED ENCLOSURES TO COMPLY WITH THIS REQUIREMENT.
- MATERIALS A. ONE-PART POLYSULFIDE SEALANT: ASTM C920, TYPE S. GRADE NS. CLASS 25. USE NT. M. A. G AND O AS APPROPRIATE. FURNISH IN STANDARD COLORS AS SELECTED. PECORA CORP
- POLYMERIC SYSTEMS, INC.
- W.R. MEADOWS INC. CALKING COMPOUND:
 - ACRYLIC LATEX CALK: NON-SAG, 1-PART LATEX BASE CALK, PER ASTM C834 FURNISH IN STANDARD COLORS AS SELECTED BY THE ARCHITECT.
 - a. DAP INC. SONNEBORN
- TREMCO PRIMERS: TYPES RECOMMENDED BY THE COMPOUND MANUFACTURERS TO PROVIDE ADHESION OF THE COMPOUNDS TO, AND TO PREVENT STAINING OF, ADJACENT SURFACES FOR ALL
- CONDITIONS ENCOUNTERED ON THE PROJECT. BOND-PREVENTIVE MATERIALS: TYPES RECOMMENDED BY THE SEALANT COMPOUND
- MANUFACTURER. E. BACK-UP MATERIAL: ASTM C1330 TYPE C OF SIZE AND DENSITY TO CONTROL SEALANT.
- ROUND, SOLID SECTION, SKINNED SURFACED, SOFT FOAM GASKET STOCK F. COLORS: COLORS TO BE SELECTED BY THE OWNER FROM MANUFACTURERS STANDARD COLOR

PREPARATION

- A. CLEAN RECESSES WHICH ARE TO RECEIVE COMPOUND SO AS TO BE FREE OF DIRT, DUST, LOOSE MATERIAL, OIL, GREASE, FORM RELEASE AGENTS AND OTHER SUBSTANCES DETRIMENTAL TO THE COMPOUND'S PERFORMANCE.
- INSTALLATION A. INSTALL MATERIALS PER MANUFACTURER'S DIRECTIONS. USE MATERIALS AS RECEIVED FROM THE MANUFACTURERS. WITHOUT ADDITIVES OR ADULTERATIONS. USE 1 MANUFACTURER'S PRODUCT FOR EACH KIND OF PRODUCT SPECIFIED.
- ADJUSTING AND CLEANING A. CLEAN SURFACES ADJACENT TO THE CALKED JOINTS, REMOVE COMPOUND SMEARS OR OTHER SOILING RESULTING FROM APPLICATION OF COMPOUNDS. AT METAL SURFACES, REMOVE MASKING TAPE AND OTHER RESIDUE. EXERCISE CARE IN CLEANING AND REMOVAL OPERATIONS SO AS NOT TO MAR OR DAMAGE FINISHES ON MATERIALS ADJACENT TO JOINTS. REPAIR OR REPLACE MARRED OR DAMAGED MATERIALS, AT NO COST TO THE OWNER.

SECTION 08110 HOLLOW METAL DOORS & FRAMES

- A. FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED FOR THE COMPLETION OF THE WORK SPECIFIED IN THIS DIVISION IN ACCORDANCE WITH THE SPECIAL CONDITIONS AND GENERAL CONDITIONS IN DIVISION 1, AND THE DRAWINGS.
- PERFORMANCE REQUIREMENTS A. STEEL DOOR AND FRAME STANDARD: COMPLY WITH ANSI A 250.8. ALL STEEL DOORS AND FRAMES SHALL MEET THE TOLERANCES ESTABLISHED BY THE STEEL DOOR INSTITUTE (SDI #117-3 DATED 3/95).
- SUBMITTALS A. SUBMIT SHOP DRAWINGS, AND LIST THE LOCATION IN BUILDING AND IDENTIFICATION MARK FOR EACH HOLLOW STEEL DOOR AND FRAME. INDICATE DOOR HARDWARE REQUIREMENTS. SUBMIT
- MANUFACTURER'S PRINTED INSTRUCTIONS COVERING INSTALLATION OF THE SPECIFIED WORK. B. SHOP DRAWINGS: INDICATE THE FOLLOWING: ELEVATIONS OF EACH DOOR DESIGN.
 - DETAILS OF DOORS INCLUDING VERTICAL AND HORIZONTAL EDGE DETAILS. FRAME DETAILS FOR EACH FRAME TYPE INCLUDING DIMENSIONED PROFILES. DETAILS AND LOCATIONS OF REINFORCEMENT AND PREPARATIONS FOR HARDWARE.

DETAILS OF EACH DIFFERENT WALL OPENING CONDITION.

- DETAILS OF ANCHORAGES, ACCESSORIES, JOINTS, AND CONNECTIONS COORDINATION OF GLAZING FRAMES AND STOPS WITH GLASS AND GLAZING REQUIREMENTS C. DOOR SCHEDULE: USE SAME REFERENCE DESIGNATIONS INDICATED ON DRAWINGS IN PREPARING
- MATERIALS A. STOCK COMMERCIAL DOORS: HOT ROLLED SHEETS PER ASTM A-569, COMMERCIAL STEEL (CS),
- TYPE B OR COLD-ROLLED STEEL PER ASTM A-568. FRAMES AND UNEXPOSED SURFACES: PRIME QUALITY, COLD-ROLLED, COMMERCIAL STOCK. GALVANIZED MEMBERS: ZINC-COATED STEEL SHEET PER ASTM A 653, GALVANIZED G60, CHEMICALLY TREATED AND WITH MINIMIZED SPANGLE OR GALVANNEALED A60, DULL GRAY. USE
- AT ALL EXTERIOR DOOR AND FRAME LOCATIONS. D. PRIME PAINT: RUST-INHIBITIVE TYPE, OVEN-BAKE OR AIR DRY CURING TYPE COMPLYING WITH ANSI 250.10.
- E. INSULATION FOR DOORS: POLYURETHANE OR POLYSTYRENE FOAM CORE AT ALL EXTERIOR LOCATIONS TO COMPLY WITH ASHRAE 90.1 AND THE INTERNATIONAL ENERGY CONSERVATION CODE, AND HONEYCOMB OR POLYURETHANE FOAM CORE AT INTERIOR LOCATIONS.
- F. BUTTON SILENCERS: SOLID, MOLDED RUBBER. FRAME ANCHORS: GALVANIZED STEEL, MINIMUM 18 GAGE, AT MASONRY WALLS, T-TYPE, FLAT OR CORRUGATED ANCHORS WITH HEAD TO FIT SNUG IN FRAME PROFILE AND STEM 3 INCHES X 10 INCHES. WIRE ANCHORS ARE ACCEPTABLE.
- AT WOOD OR METAL STUD PARTITIONS. USE INSERT TYPE ANCHOR WITH NOTCHED STEM DESIGNED FOR SHEET METAL SCREW ATTACHMENT TO METAL STUD. MANUFACTURERS AND FABRICATION

A. STOCK COMMERCIAL HOLLOW STEEL FABRICATORS: CECO DOOR PRODUCTS DIV., A UNITED DOMINION CO.

CURRIES CO.

SCHEDULE FOR DOORS AND FRAMES.

- THE KEWANEE CORP. STEELCRAFT, AN INGERSOLL-RAND CO.
- DOORS: FLUSH SEAMLESS, 1-3/4 INCH THICK, LEVEL 3 WITH 16 GAGE GALVANIZED FACE SHEETS, PHYSICAL PERFORMANCE LEVEL A, MODEL 2-SEAMLESS, USE LEVEL 2 WITH 18 GAGE FACE SHEETS, PHYSICAL PERFORMANCE LEVEL B. MODEL 2-SEAMLESS, AT INTERIOR LOCATIONS.
- PROVIDE CLOSED FLUSH TOPS ON EXTERIOR DOORS TO PREVENT MOISTURE PENETRATION. C. DOOR AND WINDOW FRAMES: PROVIDE WELDED, GROUND SMOOTH, HOLLOW METAL FRAMES FOR USE WITH DRY WALL AND MASONRY PARTITIONS, OF 16 GAGE STEEL, COMPLETE WITH
- MANUFACTURER'S STANDARD ANCHOR CLIPS AND FASTENERS FOR FIELD ADJUSTMENT. D. GLAZING FRAMES: FABRICATE FROM NOT LESS THAN 16 GAGE MATERIAL, WITH NON-REMOVABLE AND REMOVABLE WITH GLASS STOP MOULDINGS.
- E. CUT OUT, DRILL, TAP, COUNTERSINK, REINFORCE AND OTHERWISE PREPARE DOORS AND DOOR FRAMES AS REQUIRED TO RECEIVE DOOR HARDWARE. COUNTERSINK BUTTS, STRIKES AND LOCKSET FRONTS INTO THE SURFACE, SO AS TO BE FLUSH.
- F. CLOSE COUNTERSINK AREAS WITH REINFORCING, NOT LESS THAN 3/16 INCH THICK STEEL PLATE FOR BUTTS, 16 GAGE FOR LATCH AND LOCK SETS, AND 12 GAGE FOR CLOSERS. WELD REINFORCING PLATES TO THE INTERIOR OF THE DOOR FRAMES
- G. APPLY ONE COAT OF RUST-INHIBITIVE PRIMER TO EXPOSED SURFACES OF HOLLOW STEEL WORK, MAKE SURFACES FLUSH AND SMOOTH, FILL IRREGULARITIES WITH ONE OR MORE COATS OF MINERAL FILLER, AND APPLY ANOTHER COAT OF PRIMER. SAND SMOOTH BETWEEN COATS AND SEPARATELY BAKE-ON EACH COAT.

INSTALLATION A. COMPLY WITH PROVISIONS OF SDI-105-92 "RECOMMENDED ERECTION INSTRUCTIONS FOR

- STEEL FRAMES", UNLESS OTHERWISE SHOWN. HANG DOORS TO FIT CLOSELY IN FRAMES WITHOUT BINDING; TO BE IN FULL CONTACT WITH STOPS AT ALL POINTS WHEN CLOSED; TO SWING EASILY AND QUIETLY, WITHOUT STRIKING THE FLOOR AT ANY POINT OF THE SWING; AND TO REMAIN IN ANY POSITION LEFT BETWEEN OPENED AND CLOSED WITHOUT MOVING. EXTERIOR DOORS SHALL BE WEATHERTIGHT WHEN
- C. FIT DOORS ACCURATELY IN FRAMES, WITHIN CLEARANCES SPECIFIED IN ANSI A250.8.

SECTION 08120 INTERIOR ALUMINUM DOORS, DOOR FRAMES, AND

- ALUMINUM OFFICEFRONT FRAMING SYSTEM FOR INTERIOR USE. ALUMINUM AND GLASS DOORS FOR INTERIOR USE.

SUBMITTALS

- 1. INCLUDE INFORMATION FOR FACTORY FINISH, GLAZING GASKETS, ACCESSORIES AND OTHER REQUIRED COMPONENTS.
- SHOP DRAWINGS: SUBMIT SCHEDULE INDICATING OPENING IDENTIFICATION NUMBER, FRAME
- TYPES, DIMENSIONS, SWING, LABEL, AND HARDWARE REQUIREMENTS. USE SAME REFERENCE NUMBERS FOR OPENINGS AS CONTRACT DRAWINGS.
- INCLUDE ELEVATIONS AND DETAILS INDICATING FRAME TYPES, PROFILES, CONDITIONS AT OPENINGS, METHODS AND LOCATIONS OF ANCHORING, GLAZING REQUIREMENTS, HARDWARE LOCATIONS. AND REINFORCEMENTS FOR HARDWARE, DETAILS OF CONNECTIONS TO SPECIAL CONSTRUCTION AND OTHER CUSTOM FEATURES.
- SAMPLES: SUBMIT FOLLOWING: 1. SAMPLES INDICATING QUALITY OF FINISH IN SELECTED COLORS ON ALLOYS USED FOR
- SAMPLES TO SHOW RANGE OF SUCH VARIATION. INFORMATIONAL SUBMITTALS: SUBMIT MANUFACTURER'S INSTRUCTIONS.
- MANUFACTURER'S QUALIFICATIONS: MANUFACTURER SHALL DEMONSTRATE PREVIOUS EXPERIENCE IN MANUFACTURING OF INTERIOR ALUMINUM DOOR AND OFFICEFRONT FRAMING
- DELIVERY, STORAGE, AND HANDLING DELIVER FRAMES AND DOORS IN CARTONS TO PROVIDE PROTECTION DURING TRANSIT AND STORAGE AT PROJECT SITE.
- B. INSPECT FRAMES AND DOORS UPON DELIVERY FOR DAMAGE. 1. REPAIR MINOR DAMAGE TO PRE-FINISHED PRODUCTS BY MEANS AS RECOMMENDED BY
- C. STORE FRAMES AND DOORS AT PROJECT SITE UNDER COVER AND AS NEAR AS POSSIBLE TO FINAL INSTALLATION LOCATION. DO NOT USE COVERING MATERIAL THAT WILL CAUSE DISCOLORATION OF ALUMINUM FINISH.

ENVIRONMENTAL REQUIREMENTS A. DO NOT BEGIN INSTALLATION OF FRAMES OR DOORS UNTIL AREA OF WORK HAS BEEN

- MAINTAIN TEMPERATURE AND HUMIDITY IN AREAS OF INSTALLATION WITHIN REASONABLE LIMITS, AS CLOSE AS POSSIBLE TO FINAL OCCUPANCY. IF NECESSARY, PROVIDE TEMPERATURE CONTROL AND VENTILATION TO MAINTAIN REQUIRED ENVIRONMENTAL
- WARRANT AGAINST DEFECTS IN MANUFACTURING OF MATERIALS FOR A PERIOD OF 2 YEARS FROM DATE OF SUBSTANTIAL COMPLETION. WARRANT FRAMING FINISH AGAINST DEFECTS, INCLUDING CRACKING, FLAKING, BLISTERING,
- PERIOD OF 5 YEARS. WARRANT ALUMINUM AND GLASS DOORS FOR LIFE OF DOOR AGAINST CORNER
- A. MANUFACTURERS
- 1. MEET OR EXCEED STANDARDS OF MANUFACTURE, APPEARANCE, PERFORMANCE,
- PRODUCTS, INC. SUBSTITUTIONS: OWNER SELECTED EQUAL
- 1. INTERIOR DOOR FRAMES: RACO SOLUTIONS II FIXED THROAT FRAMES TO ACCOMMODATE WALL THICKNESSES INDICATED ON DRAWINGS; WITH APPLIED FULL FACE
- TRIM OF 2 INCH WIDTH.
- FULL FACE TRIM OF 2 INCH WIDTH. SWINGING ALUMINUM AND GLASS DOORS: RACO SERIES 550, WIDE STILE DOORS
- HAVING SQUARE GLAZING STOPS, AND EPDM GLAZING GASKETS, AND HAVING ADA COMPLIANT BOTTOM RAIL.
- A. ALUMINUM: MEETING REQUIREMENTS OF ASTM B221, 6063T5 ALLOY, AND AS OTHERWISE REQUIRED TO ASSURE COMPLIANCE WITH DIMENSIONAL TOLERANCES AND MAINTAIN COLOR
- UNIFORMITY. BILLETS SHALL BE COMPOSED OF AT LEAST 33% RECYCLED ALUMINUM. ANCHORAGE DEVICES, CLIPS AND FASTENERS: MANUFACTURER'S STANDARD TYPE,

EXTRUDED ALUMINUM FRAME AND DOOR FABRICATION

- A. ASSEMBLE ALL DOOR FRAMES, SIDELIGHTS, AND WINDOW UNITS WITH SCREWS UTILIZING INTERNAL SCREW SPLINE SYSTEM, INSERT INTO THE DRYWALL ROUGH OPENING.
- ASSEMBLE ALL SIDELIGHTS AND WINDOWS WITHOUT THE USE OF CLIPS. REQUIREMENTS.
- WITH CONCEALED REINFORCEMENT PLATES, DRILLED AND TAPPED AS REQUIRED, AND FASTENED WITHIN FRAME WITH CONCEALED SCREWS.

- TO VIEW UPON COMPLETION OF INSTALLATION ARE UNIFORM IN FINISH AND COLOR. EXPOSED SURFACES SHALL BE FREE OF SCRATCHES AND OTHER SERIOUS BLEMISHES. [FACTORY APPLIED PAINT FINISH: COMPLY WITH AAMA(2603) 603.8 AND
- 1. COLOR: [AS SELECTED FROM MANUFACTURER'S STANDARD COLORS] [CUSTOM COLOR TO MATCH ARCHITECT'S SAMPLE].]
- CLEAR ANODIZED: AA-M12C22A21, ETCHED, MEDIUM MATTE, CLEAR ANODIC COATING. [CLEAN ALL ALUMINUM SURFACES OF CONTAMINANTS AND LEAVE READY FOR FIELD PAINTING PER SECTION 09900.]
- SECTION TO PROCEED. DO NOT PROCEED WITH INSTALLATION UNTIL UNSATISFACTORY
- CONDITIONS HAVE BEEN CORRECTED B. VERIFY WALL THICKNESS DOES NOT EXCEED MANUFACTURER'S RECOMMENDED TOLERANCES OF SPECIFIED THROAT SIZE.
- INSTALLATION A. COMPLY WITH FRAME AND DOOR MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS
- INSTALL FRAMES PLUMB AND SQUARE, FREE FROM WARP OR TWIST, SECURELY ANCHORED TO SUBSTRATES WITH FASTENERS RECOMMENDED BY FRAME MANUFACTURER. MAINTAIN DIMENSIONAL TOLERANCES AND ALIGNMENT WITH ADJACENT WORK. ENSURE JOINTS ARE
- SET ALL DOORS IN CORRECT LOCATIONS AS SHOWN ON THE DRAWINGS, LEVEL, SQUARE, PLUMB AND IN ALIGNMENT WITH OTHER WORK IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND APPROVED SHOP DRAWINGS.

D. [INSTALL GLASS IN ACCORDANCE WITH SECTION 08800.] ADJUSTING AND CLEANING

- A. PROTECT EXPOSED PORTIONS OF ALUMINUM SURFACES FROM DAMAGE BY PLASTER, LIME, ACID, CEMENT, AND OTHER CONTAMINANTS.
- FEET. REMOVE AND REPLACE FRAMES THAT CANNOT BE SATISFACTORILY ADJUSTED. UNTIL SUBSTANTIAL COMPLETION.

SECTION 08710 DOOR HARDWARE

- A. FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED FOR THE COMPLETION OF THI WORK SPECIFIED IN THIS DIVISION IN ACCORDANCE WITH THE SPECIAL CONDITIONS AND GENERAL CONDITIONS IN DIVISION 1, AND THE DRAWINGS.
- QUALITY ASSURANCE A. DOOR HARDWARE SHALL COMPLY WITH THE REQUIREMENTS OF LAWS, CODES, ORDINANCES, AND
- REGULATIONS OF THE GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. SUBMITTALS
- A. PROVIDE HARDWARE SCHEDULES USING ARCHITECTS DOOR NUMBERS, HARDWARE SET NUMBERS AND PAGE NUMBERS WHERE HARDWARE IS LISTED. OPENING DESCRIPTION: SINGLE OR PAIR, NUMBER, ROOM LOCATIONS, HAND, ACTIVE LEAF, DEGREE
- OF SWING, SIZE, MATERIAL, FRAME MATERIAL. HARDWARE DESCRIPTION: QUANTITY, CATEGORY, PRODUCT NUMBER. FASTENERS. AND FINISH. PRODUCT DATA OF EACH HARDWARE ITEM, AND SHOP DRAWINGS WHERE REQUIRED, FOR ITEMS TO
- BE CONNECTED TO THE ELECTRICAL SYSTEM COMPLETE WITH POWER REQUIREMENTS AND WIRING DIAGRAMS AND FOR OTHER SPECIAL CONDITIONS AND SPECIALTY HARDWARE. U. S. STANDARD OR B.H.M.A. FINISH SYMBOLS.
- SUBMIT PRODUCT DATA CONCURRENTLY WITH HARDWARE SCHEDULE. SUBMIT IN BOOKLET FORM, USING SUPPLIER'S HARDWARE SCHEDULE COVERS AS BINDERS. WARRANTY: ALL PRODUCTS SUPPLIED ON PROJECT SHALL BE WARRANTED BY MANUFACTURER AGAINST DEFECT IN MATERIALS AND WORKMANSHIP FOR AT LEAST ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION. THE DEFECTIVE PRODUCT SHALL BE REPLACED PROMPTLY, FREE OF

CHARGE TO THE OWNER, AND INSTALLED BY A FACTORY REPRESENTATIVE. WARRANTIES SHALL BE

- SUPPLIED AS FOLLOWS: CLOSERS: TEN YEARS, MINIMUM. EXIT DEVICES: THREE YEARS MINIMUM.
- HINGES: LIFE OF BUILDING.
- MORTISE LOCKS: ONE YEAR. MISCELLANEOUS HARDWARE: ONE YEAR.
- CERTIFICATIONS A. THE ARCHITECTURAL HARDWARE CONSULTANT OR EQUIVALENT IN THE EMPLOY OF THE HARDWARE SUPPLIER SHALL INSPECT AND CERTIFY THAT ALL HARDWARE HAS BEEN FURNISHED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND AS SPECIFIED HEREIN, AND IS

FUNCTIONING PROPERLY. **MANUFACTURERS**

- A. ALL MANUFACTURER'S SHALL BE AS SPECIFIED OR OWNER APPROVED EQUAL. A. FURNISH CLASS BB1279 AND SIZE 4 1/2 X 4 1/2 INCHES, UNLESS SPECIFIED OTHERWISE.
- NUMBERS SPECIFIED ARE HAGER. FLUSH BOLTS
- A. AUTOMATIC FLUSH BOLTS FOR METAL DOORS: IVES B. DUST PROOF STRIKES FOR FLUSH BOLTS: SHALL INCLUDE FLAT, RECTANGULAR MOUNTING PLATES, AND BE FURNISHED WITH ALL FLUSH BOLTS.
- LOCKSETS AND LATCHSETS A. MATCH EXISTING LOCKSETS, LATCHSETS AND CORES
- STRIKES SHALL BE FURNISHED WITH EXTENDED LIPS WHERE REQUIRED TO PROTECT TRIM FROM BEING MARRED BY LATCH BOLTS.
- EXIT DEVICES A. EXIT DEVICES: FURNISH SPECIFIED OUTSIDE TRIM. FUNCTION DESIGNATIONS ARE VON DUPRIN 35 OR

98 SERIES B. TRIM TO MATCH LOCKSETS. WHERE LEVERS ARE USED PROVIDE 994 TRIM AT ALL LOCKABLE **OPENINGS**

ELECTRIC POWER TRANSFER A. VON DUPRIN EPT 10.

AS DIRECTED.

ELECTRIC STRIKE

A. VON DUPRIN 5100, 24V, FAIL SECURE / FAIL SAFE. SUPPLY 24V POWER SUPPLY. ANSI/BHMA 156.5 GRADE 1, UL BURGLARY LISTING

COORDINATORS A. FACE MOUNTED COORDINATORS: GRAVITY TYPE BY ANY MEMBER OF B.H.M.A. CLOSERS

- A. CLOSERS: ALL CLOSERS SHALL MEET OR EXCEED ANSI A.156.4 GRADE 1 CERTIFICATION. KICK PLATES A. FURNISH 10 X 0.050 INCHES X DOOR WIDTH LESS ONE AND A HALF INCHES AT SINGLE DOORS
- SCREWS. INSTALL TO WITHIN 1/4 INCH OF THE DOOR BOTTOM, BEVEL THREE EDGES. A. WALL BUMPERS: B.H.M.A. L02101. WROUGHT, FORGED OR CAST MATERIAL, APPROXIMATELY 2 1/2
- INCH DIAMETER. CONVEX OR CONCAVE RUBBER CENTER, CONCEALED FASTENERS. THRESHOLDS A. THRESHOLDS: NUMBERS SPECIFIED ARE NATIONAL GUARD. PRODUCTS FROM OTHER MANUFACTURERS ARE ACCEPTABLE IF EQUAL IN MATERIAL, SHAPE, THICKNESS, AND CONTAIN EQUAL BUMPER GASKETS

AND LESS ONE INCH AT PAIRS. DRILL AND COUNTERSINK SCREW HOLES FOR OVAL HEAD UNDERCUT

- A. US26D OR AS SELECTED BY THE ARCHITECT AND APPROVED BY THE OWNER.
- TEMPLATES AND HARDWARE LOCATION A. FURNISH HARDWARE MADE TO TEMPLATE. SUPPLY REQUIRED TEMPLATES AND HARDWARE LOCATIONS TO THE DOOR AND FRAME MANUFACTURERS. CYLINDERS AND KEYING
- A. PROVIDE CYLINDERS WITH CONSTRUCTION CORES FOR USE DURING THE CONSTRUCTION PERIOD. WHEN SO DIRECTED. CONVERT CONSTRUCTION CORES TO FINAL CORES. INSTALLATION A. GENERAL: INSTALL HARDWARE ACCORDING TO MANUFACTURERS INSTALLATIONS AND TO
- MANUFACTURERS TEMPLATE DIMENSIONS. ATTACH ALL ITEMS OF FINISH HARDWARE TO DOORS. FRAMES, WALLS, ETC. WITH FASTENERS FURNISHED AND REQUIRED BY THE MANUFACTURER OF THE ADJUSTING AND CLEANING: AT FINAL COMPLETION, ALL HARDWARE SHALL BE LEFT CLEAN AND FREE FROM DISFIGUREMENT, MAKE A FINAL ADJUSTMENT TO ALL DOOR CLOSERS AND OTHER ITEMS OF

HARDWARE. WHERE HARDWARE IS FOUND DEFECTIVE, REPAIR OR REPLACE OR OTHERWISE CORRECT

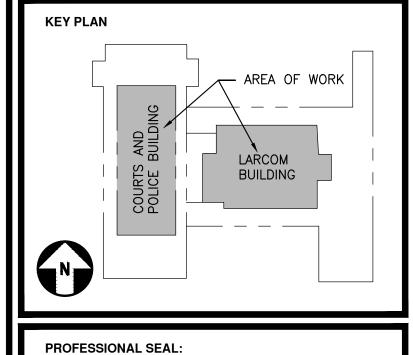
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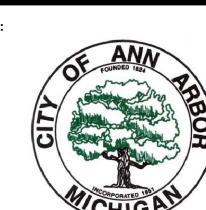
12/19/19



DO NOT SCALE DRAWING



CLIENT:



PROJECT TITLE:

CITY OF ANN ARBOR **MUNICIPAL CENTER** RENOVATIONS

301 E HURON ST.

ANN ARBOR, MI 48104

SHEET TITLE:

SPECIFICATIONS

D.ISENOGLE DESIGNED BY D.ISENOGLE DRAWN BY: J.RITCHIE **CHECKED BY:**

Sheet Size: 24" x 36" (Arch D)

PERFORMANCE REQUIREMENTS

OFFICEFRONT FRAMING

SUMMARY ALUMINUM DOOR FRAMES FOR INTERIOR USE.

ALUMINUM DOOR FRAMES WITH SIDELIGHT FRAME COMPONENTS FOR INTERIOR USE.

A. PRODUCT DATA: SUBMIT FOR DOOR, SIDELIGHT AND OFFICEFRONT FRAMES.

2. INCLUDE COLOR CHARTS FOR FINISH INDICATING MANUFACTURER'S STANDARD COLORS AVAILABLE FOR SELECTION.

2. WHERE NORMAL COLOR AND TEXTURE VARIATIONS ARE EXPECTED, INCLUDE ADDITIONAL

QUALITY ASSURANCE A. SINGLE SOURCE RESPONSIBILITY: PROVIDE ALUMINUM FRAMES, ALUMINUM AND GLASS DOORS, AND ACCESSORIES PRODUCED BY A SINGLE MANUFACTURER FOR EACH TYPE OF

FOR A PERIOD OF NOT LESS THAN 10 YEARS ON COMPARABLE SIZED PROJECT.

REPLACE FRAMES AND DOORS THAT CANNOT BE SATISFACTORILY REPAIRED.

COMPLETELY ENCLOSED AND INTERIOR IS PROTECTED FROM THE ELEMENTS.

CONDITIONS.

PEELING, AND EXCESSIVE FADING, CHALKING AND NON-UNIFORMITY IN COLOR FOR A CONSTRUCTION FAILURE, CAUSING WRACKING OF DOOR BEYOND ACCEPTABLE TOLERANCES.

FUNCTION, AND DESIGN, OF RACO INTERIOR OFFICEFRONTS BY RACO INTERIOR

ACCEPTABLE PRODUCTS:

2. INTERIOR OFFICEFRONT FRAMING: RACO SOLUTIONS II OFFICEFRONTS, FIXED THROAT FRAMES TO ACCOMMODATE WALL THICKNESSES INDICATED ON DRAWINGS: WITH APPLIED

a. PROVIDE WITH CUSTOM HORIZONTAL AND VERTICAL MULLION PATTERN AS INDICATED ON DRAWINGS MATERIALS

COMPATIBLE WITH MATERIALS BEING SECURED. C. ACCESSORIES: AS NECESSARY FOR COMPLETE SYSTEM.

- DO NOT EXCEED MAXIMUM SIZE OF WINDOW OR DOOR TO MEET APPLICABLE CODE FACTORY PRE-MACHINE DOOR FRAME JAMBS [AND DOORS] AND PREPARE FOR HARDWARE,
- FACTORY FINISH EXTRUDED FRAME AND DOOR COMPONENTS SO THAT ALL PARTS EXPOSED
- AA-DAF-45, FACTORY APPLIED BAKED ENAMEL COATING.
- A. EXAMINE PROJECT CONDITIONS AND VERIFY THAT PROJECT IS READY FOR WORK OF THIS
- AND APPROVED SHOP DRAWINGS. DO NOT ATTEMPT INSTALLATION IN AREAS WHERE WALL THICKNESS EXCEEDS TOLERANCES OF SPECIFIED THROAT SIZE.
- HAIRLINE TIGHT AND SURFACES FLUSH WITH ADJACENT COMPONENTS.
- TOUCH UP MARRED AREAS SO THAT TOUCH-UP IS NOT VISIBLE FROM A DISTANCE OF 4
- PROTECT AS REQUIRED TO ASSURE THAT FRAMES AND DOORS WILL BE WITHOUT DAMAGE

19-107.AA JOB No.:

A-4 of 5

SECTION 08800 GLAZING

- THE LOCATION AND KIND OF GLASS TO BE USED AT EACH LOCATION IS SHOWN. THE FOLLOWING LISTING SUPPLEMENTS THE DATA SHOWN; FOR EACH OF THE FOLLOWING LOCATIONS, PROVIDE THE KIND OF GLASS SPECIFIED:
 - ENTRANCE AND VESTIBULE DOORS: TEMPERED OR LAMINATED SAFETY GLASS. INTERIOR DOORS: CLEAR WIRE GLASS IN LABELED DOORS; CLEAR TEMPERED GLASS IN
 - HOLLOW STEEL GLAZING FRAMES: CLEAR TEMPERED OR LAMINATED SAFETY GLASS IN ALL OTHERS.

PERFORMANCE REQUIREMENTS

- PROVIDE GLAZING SYSTEMS TO WITHSTAND THERMAL MOVEMENTS. WIND AND IMPACT LOADS WITHOUT GLASS BREAKAGE FROM DEFECTIVE MANUFACTURING, FABRICATION, INSTALLATION, INCLUDING GLAZING ACCESSORIES AND SEALANT. GLAZING SYSTEMS ARE TO REMAIN AIRTIGHT AND WATERTIGHT WITHOUT DETERIORATION OR DISCOLORING.
- GLASS THICKNESS: SELECT MINIMUM GLASS THICKNESSES PER ASTM E 1300. WIND LOAD: 90MPH.
- EXTERIOR GLASS THICKNESS: 6 MM MINIMUM. TINTED AND HEAT ABSORBING GLASS THICKNESS: UNIFORM THICKNESS FOR EACH TINTED GLASS COLOR THROUGHOUT THE PROJECT.
- PROVIDE GLAZING THAT ALLOWS FOR THERMAL MOVEMENT WITH A RANGE OF 180 DEGF (100 DEGC) FOR AMBIENT AND SURFACE TEMPERATURES FOR GLAZING, GLASS FRAMES, AND GLAZING ACCESSORIES. BASE THERMAL MOVEMENT CALCULATION ON SURFACE TEMPERATURES OF THE MATERIALS FROM SOLAR HEAT GAIN AND NIGHTTIME LOSS OF HEAT.

QUALITY ASSURANCE CONFORM TO THE FOLLOWING SPECIFICATIONS AND STANDARDS FOR MATERIALS AND WORK.

- ASTM C1036 "SPECIFICATION FOR FLAT GLASS". ASTM C1048 "SPECIFICATION FOR HEAT TREATED FLAT GLASS-KIND HS, KIND FT COATED AND UNCOATED GLASS".
- ASTM C1172 "STANDARD SPECIFICATION FOR LAMINATED ARCHITECTURAL FLAT
- COMPLY WITH RECOMMENDATIONS OF THE FOLLOWING PUBLICATIONS:

PUBLICATIONS FROM GANA: "GLAZING MANUAL" AND "LAMINATED GLASS DESIGN GUIDE".

SUBMITTALS

CONSTRUCTION.

MANUFACTURERS STANDARDS.

SIMILAR CAUSES.

- SUBMIT MANUFACTURER'S PRODUCT DATA ON GLASS AND GLAZING MATERIALS WHERE
- PRIOR TO SUBMITTAL. OBTAIN WRITTEN ACCEPTANCE FROM THE GLASS MANUFACTURER THAT GLAZING DETAILS ARE PROPER FOR THE TYPES OF GLASS TO BE USED.
- COATED GLASS WARRANTY: PROVIDE A 10 YEAR WARRANTY FOR COATED GLASS UNITS FROM DEFECTS OF PEELING, CRACKING AND INDICATIONS OF DEGRADATION OF METALLIC COATING
- A. GLASS: FURNISH ALL GLASS PER ASTM C1036, C1172 AND C1048 AND AS SPECIFIED IN THE
- FOLLOWING DESCRIPTIONS. TEMPERED GLASS:
- CLEAR FULL-TEMPERED GLASS: PER ASTM C1048, KIND FT, CONDITION A, TYPE I, CLASS , QUALITY Q3; AND COMPLY WITH ANSI Z97.1. GLASS MUST BE FABRICATED AT THE FACTORY. USE TONGLESS TEMPERED GLASS. PROVIDE 1/4 INCH THICK GLASS.
- C. LAMINATED GLASS CLEAR LAMINATED GLASS: PER ASTM C1172, KIND LA AND ANSI Z97.1. TWO LIGHTS OF SPECIFIED CLEAR FLOAT GLASS WITH A MINIMUM .030 INCH THICK TRANSPARENT (PVB) OR PLASTIC INTERLAYER LAMINATED TO FORM A SINGLE NOMINAL 1/4 INCH THICK

A. SEALANT GLAZING COMPOUND: PROVIDE SEALANT AS RECOMMENDED BY GLASS MANUFACTURER

- FOR GLASS AND FRAME SPECIFIED. GLAZING TAPE: PROVIDE GLAZING TAPE CONFORMING TO AAMA 804.1, COMPOSED OF BUTYL POLYISOBUTYLENE RUBBER IN SIZES AS REQUIRED AND IN COLOR AS SELECTED FROM
- TREMCO "440 TAPE" SETTING BLOCKS AND SPACERS. PROVIDE SETTING BLOCKS AND SPACERS COMPOSED OF NEOPRENE OR EPDM WITH A SHORE A HARDNESS AS FOLLOWS:
- SETTING BLOCKS: 80 TO 90 DUROMETER. SPACERS: 40 TO 50 DUROMETER.
- A. HANDLE ALL GLASS WITH CARE AT ALL TIMES TO PREVENT DAMAGE. PROTECT EDGES AGAINST ABRASION, PRESSURE AND IMPACT. INSPECT ALL GLASS PRIOR TO GLAZING AND DO NOT INSTALL GLASS THAT HAS DAMAGED EDGES OR DAMAGED SURFACES.
- DO NOT NIP GLASS TO REMOVE FLARES OR TO REDUCE OVERSIZE DIMENSIONS OF ANY TYPE OF GLASS.
- DO NOT CUT, GRIND OR OTHERWISE ALTER THE EDGES OR THE SIZE OF HEAT STRENGTHENED, FEMPERED, TINTED, HEAT ABSORBING OR INSULATING GLASS.
- DO NOT EXCEED EDGE PRESSURES STIPULATED BY GLASS MANUFACTURERS FOR INSTALLING
- PROVIDE SETTING BLOCKS FOR ALL LIGHTS OF GLASS, INSTALLED AT QUARTER POINTS AND PER THE REFERENCE STANDARDS.
- PROVIDE SPACERS ON VERTICAL STOPS AS REQUIRED AND PER THE REFERENCE STANDARDS. APPLY SEALANT OR COMPOUND AFTER INSTALLATION OF SPACERS.
- INSTALL GLASS IN HOLLOW METAL STEEL DOORS AND GLAZING FRAMES AND STEEL CHANNEL GLAZING FRAMES BY ONE OF THE FOLLOWING METHODS:
- INSTALL SPACERS ON STOPS TO CENTER GLASS IN OPENING, AND FILL SPACE
- BETWEEN STOPS AND GLASS WITH SEALANT COMPOUND. FILL SPACE BETWEEN STOPS AND GLASS WITH GLAZING TAPE OF PROPER THICKNESS TO BE UNDER COMPRESSION WHEN STOPS ARE INSTALLED.
- ADJUSTING, CLEANING, AND PATCHING
- A. AT THE COMPLETION OF THE WORK, REPLACE BROKEN, CRACKED, AND OTHERWISE DEFECTIVE GLASS AND GLAZING PRIOR TO FINAL ACCEPTANCE, WITHOUT COST TO THE OWNER. REPLACE AT NO ADDITIONAL COST TO THE OWNER, ALL BROKEN OR DEFECTIVE GLASS AND

GLAZING THAT APPEARS DURING THE GUARANTEE PERIOD DUE TO INCORRECTLY CUT EDGES,

LOOSE SETTING, BINDING IN THE FRAME, UNEVEN BEDDING, PINCHING BY GLAZING CLIPS, OR

SECTION 09250 GYPSUM BOARD

A. FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED FOR THE COMPLETION OF THE WORK SPECIFIED IN THIS DIVISION IN ACCORDANCE WITH THE SPECIAL CONDITIONS AND GENERAL CONDITIONS IN DIVISION 1, AND THE DRAWINGS.

- MATERIALS A. GYPSUM BOARD OF TYPE LISTED, 5/8 INCH THICK UNLESS INDICATED OTHERWISE, 48 INCHES WIDE, WITH TAPERED EDGES; FURNISH IN AS LONG LENGTHS AS PRACTICAL TO MINIMIZE END
- JOINTS. USE THE FOLLOWING TYPES WHERE INDICATED OR SPECIFIED: TYPE X: PER ASTM C36, SPECIAL FIRE-RETARDANT; USE FOR FIRE-RATED PARTITIONS AND CEILINGS, AND GYPSUM BOARD FIRE-PROOFING WORK AS DEFINED IN THE UL "FIRE RESISTANCE DIRECTORY".
- PLAIN TYPE: PER ASTM C36; USE WHERE OTHER TYPES ARE NOT SPECIFICALLY INDICATED.
- METAL STUDS: STEEL STUDS PER ASTM C645, MINIMUM NO. 25GAGE, OR AS INDICATED ON THE DRAWINGS, COLD-ROLLED STEEL WITH GALVANIZED FINISH, OF SIZES REQUIRED TO PRODUCE OVERALL PARTITION THICKNESSES SHOWN, WITH PUNCHOUTS TO ACCOMMODATE HORIZONTAL UTILITY SERVICE RUNS.
- FURNISH MANUFACTURER'S STANDARD GALVANIZED MATING FLOOR AND CEILING TRACKS, AND ALL OTHER ACCESSORIES NECESSARY FOR INSTALLATION OF STUDS AND TRACK CARRYING CHANNELS: PER ASTM C754; COLD ROLLED STEEL SHAPES, SHOP PAINTED WITH
- RUST-INHIBITIVE PRIMER OR GALVANIZED. GALVANIZE AT EXTERIOR SOFFITS. CORNER BEAD: GALVANIZED STEEL, MINIMUM 26 GAGE, PERFORATED WING TYPE REQUIRING FILLING COMPOUND.
- CONTROL JOINT: ZINC V-TYPE WITH PERFORATED WINGS REQUIRING FILLING COMPOUND. SCREWS: PER ASTM C1002; TYPE S FOR 25 GAGE STEEL STUDS AND TYPE S-12 FOR 20 GAGE OR HEAVIER STEEL STUDS. BUGLE-HEAD SCREWS WITH SELF-DRILLING POINT. SELF-TAPPING THREAD; NOT LESS THAN 1 INCH LONG FOR SINGLE LAYER APPLICATION AND
- NOT LESS THAN 1-5/8 INCH LONG FOR DOUBLE LAYER. HANGERS: PER ASTM C754; SOFT-ANNEALED, ZINC COATED STEEL WIRE OF NO. 8 GAGE MINIMUM: OR UNPERFORATED, GALVANIZED MILD STEEL FLAT HANGERS, 1 INCH X 1/8 INCH MINIMUM
- H. TIE WIRE: PER ASTM C754; ANNEALED ZINC COATED STEEL, MONEL OR STAINLESS STEEL WIRE, MINIMUM NO. 16 GAGE.
- JOINT COMPOUND AND JOINT TAPE: PRODUCTS OF A SINGLE MANUFACTURER, AS MANUFACTURED OR RECOMMENDED BY THE GYPSUM BOARD MANUFACTURER FOR THE PARTICULAR TYPE OF GYPSUM BOARD USED, AND PER ASTM C475.
- ADHESIVE: ADHESIVE FOR LAMINATING GYPSUM BOARD WORK, OR FOR ADHERING TO CONCRETE OR MASONRY SUBSTRATE, PROVIDE ADHESIVE OR LAMINATING COMPOUND AS
- RECOMMENDED BY THE GYPSUM BOARD MANUFACTURER. K. ACOUSTICAL SEALANT: PER ASTM C919, NONDRYING, NONHARDENING, NONSKINNING ACOUSTICAL
- METAL STUD FRAMING INSTALLATION USE SINGLE LENGTH, UNSPLICED STUDS, MOUNTED VERTICALLY, SPACED AT NOT OVER 16 INCHES ON CENTER, AND SET INTO CONTINUOUS CHANNEL TRACKS AT BOTTOM AND TOP.
- M. FRAME INTERSECTIONS AND CORNERS WITH MULTIPLE STUDS PER ASTM C754. AT EXPANSION JOINTS, PROVIDE STUD AT EACH SIDE OF JOINT TO ALLOW GYPSUM BOARD TO STOP AT EACH SIDE OF SUCH JOINTS.

METAL STUD CEILING FRAMING INSTALLATION A. INSTALL CEILING CONSTRUCTION TO PROVIDE TRUE, FLAT PLANES AS SHOWN. EITHER VERTICAL AND PLUMB, HORIZONTAL AND LEVEL, OR SLOPING, READY FOR APPLICATION OF METAL

FURRING. THE REFERENCE TO CEILING CONSTRUCTION APPLIES AS WELL TO THE CONSTRUCTION OF DROPS AND SOFFITS, AS APPLICABLE

GYPSUM BOARD INSTALLATION INSTALL GYPSUM BOARD IN ACCORDANCE WITH ASTM C840, UNLESS SPECIFIED OTHERWISE. GYPSUM BOARD FINISH LEVELS

A. LEVEL 4: EMBED TAPE AND APPLY SEPARATE FIRST, FILL, AND FINISH COATS OF JOINT COMPOUND TO TAPE, FASTENERS, AND TRIM FLANGES AT PANEL SURFACES THAT WILL BE EXPOSED TO VIEW.

ADJUSTING AND PATCHING

A. WHEN OTHER ADJACENT WORK IS DONE, OR WHEN DIRECTED BY THE OWNER'S REPRESENTATIVE, AND IN SUFFICIENT TIME TO ALLOW FIELD PAINTING TO BE DONE ON SCHEDULE, POINT UP AROUND ALL TRIM AND OTHER SET WORK, REPAIR OR REPLACE DAMAGED GYPSUM BOARD AS APPROVED BY THE OWNER'S REPRESENTATIVE AND LEAVE ALL OF THIS WORK IN CONDITION TO COMPLY WITH THE CONTRACT REQUIREMENTS AS APPROVED BY OWNER'S REPRESENTATIVE, ALL AT NO EXTRA COST TO THE OWNER.

SECTION 09511 ACOUSTICAL PANEL CEILINGS

- A. FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED FOR THE COMPLETION OF THE WORK SPECIFIED IN THIS DIVISION IN ACCORDANCE WITH THE SPECIAL CONDITIONS AND GENERAL CONDITIONS IN DIVISION 1, AND THE DRAWINGS.
- PERFORMANCE REQUIREMENTS A. SURFACE-BURNING CHARACTERISTICS: ACOUSTICAL PANELS COMPLYING WITH ASTM E 1264 FOR CLASS A MATERIALS, AND WITH A SMOKE DEVELOPMENT INDEX OF 450 OR LESS, WHEN TESTED PER ASTM E 84.
- SUBMITTALS A. SUBMIT PRODUCT DATA ONLY ON CEILING GRID SYSTEM AND ACOUSTIC TILE.
- A. MINERAL FIBER CONSTRUCTION, 24"X24" FACE SIZE, TEGULAR EDGES, NOT LESS THAN 5/8 INCH THICK, WHITE FACTORY-PAINTED EXPOSED SURFACE, WITH MACHINE-FISSURED FACE.
- B. RATING: TYPE III, CLASS A AND MINIMUM NRC RANGE OF .55-.70 PER ASTM C423. C. "HEAVY-DUTY" TYPE DIRECT-HUNG EXPOSED-TEE STEEL GRID SYSTEM PER ASTM C 635, WITH
- 1-1/2 INCH HIGH DOUBLE-WEB TEES HAVING 15/16 INCH WIDE EXPOSED FACE. D. HANGERS: SOFT-TEMPER, PRESTRETCHED, ZINC COATED STEEL WIRE PER ASTM A641, WITH A YIELD STRESS LOAD OF AT LEAST 3 TIMES DESIGN LOAD BUT NOT LESS THAN NO. 12 GAGE, MEETING "HEAVY-DUTY" CLASSIFICATION OF ASTM C 635.
- E. CEILING SYSTEM WALL MOLDINGS: NO. 25 GAGE COMMERCIAL QUALITY COLD-ROLLED STEEL, ELECTRO-GALVANIZED, BONDERIZED, AND WITH FACTORY-APPLIED WHITE BAKED ENAMEL FINISH, HEMMED-EDGE ANGLE SHAPE TO MATCH GRID SYSTEM SPECIFIED.
- INSTALLATION A. INSTALL DIRECT-HUNG EXPOSED GRID LAY-IN ACOUSTIC PANEL CEILINGS AS RECOMMENDED
- BY THE MANUFACTURER.
- B. DO NOT SECURE HANGERS TO METAL ROOF DECK, METAL FLOOR DECK NOT CONCRETE FILLED, DUCTWORK, CONDUIT, PIPING, EQUIPMENT, OR SUPPORT SYSTEM FOR ANY OF THESE. PROVIDE AN ADDITIONAL HANGER AT EACH CORNER OF EACH OPENING THAT IS TO RECEIVE A RECESSED LIGHTING FIXTURE. SECURE HANGERS TO MAIN BEAMS TO DEVELOP THE FULL STRENGTH OF THE HANGERS AND PER MANUFACTURER'S PUBLISHED DIRECTIONS. SECURE HANGERS TO CONSTRUCTION ABOVE PER ASTM C 636.
- ADJUSTING AND CLEANING A. AFTER THE INTERIOR FINISHING WORK HAS BEEN SUBSTANTIALLY COMPLETED, OR WHEN DIRECTED BY THE OWNER'S REPRESENTATIVE, INSPECT ALL ACOUSTICAL TREATMENT WORK. REPLACE ALL BROKEN, CHIPPED OR DAMAGED WORK, RESET UNITS THAT ARE LOOSE OR OUT OF PLACE, AND TOUCH UP ALL MARRED SURFACES WITH MATCHING PAINT. UPON COMPLETION OF THE PROJECT, THE ACOUSTICAL TREATMENT FINISHED SURFACES SHALL BE CLEAN, AND FREE FROM DIRT AND OTHER MARKINGS AND IN GOOD CONDITION ACCEPTABLE TO THE OWNER'S REPRESENTATIVE.

SECTION 09652 RESILIENT WALL

HOMOGENEOUS VINYL OR RUBBER.

SUMMARY

A. FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED FOR THE COMPLETION OF THE WORK SPECIFIED IN THIS DIVISION IN ACCORDANCE WITH THE SPECIAL CONDITIONS AND GENERAL CONDITIONS IN DIVISION 1, AND THE DRAWINGS.

PERFORMANCE REQUIREMENTS A. RESILIENT BASE MATERIALS SHALL HAVE A MAXIMUM RATING OF 75 FOR FLAME SPREAD. FUEL

- CONTRIBUTED AND SMOKE DEVELOPED WHEN TESTED PER ASTM E662. COMPLY WITH ASTM
- PROJECT CONDITIONS A. MAINTAIN A CONTINUOUS TEMPERATURE OF 70 DEG.F FOR AT LEAST 48 HOURS PRIOR TO INSTALLATION OF RESILIENT BASE MATERIALS.
- A. VINYL RESILIENT BASE: 4 INCH HIGH BY 0.080 INCH OR 1/8 INCH THICK, CONFORMING TO ASTM F1861, GROUP 2. TYPE TV. STRAIGHT STYLE A NON-COVE TYPE IN CARPETED AREAS AND COVE STYLE B IN ALL OTHER ROOMS AND AREAS, WITH ROUGH TOP, IN COLORS TO MATCH THOSE SPECIFIED IN FINISH SCHEDULE. PROVIDE MANUFACTURER'S STANDARD PREFORMED CORNER UNITS TO MATCH BASE.
- RUBBER RESILIENT BASE: 4 INCH HIGH BY .080 INCH THICK, CONFORMING TO ASTM F1861, GROUP 1, TYPE TS, STRAIGHT STYLE A NON-COVE TYPE IN CARPETED AREAS AND COVE STYLE B TYPE IN ALL OTHER ROOMS AND AREAS, WITH ROUND TOP, IN COLORS TO MATCH THOSE SPECIFIED IN FINISH SCHEDULE. PROVIDE MANUFACTURER'S STANDARD PREFORMED CORNER UNITS TO MATCH BASE.
- MISCELLANEOUS: RESILIENT FLOORING FEATURE STRIPS: SOLID STANDARD COLOR SELECTED, FACE WIDTH INCH UNLESS NOTED OTHERWISE, 1/8 INCH THICK, OF VINYL COMPOSITION, HOMOGENOUS
- VINYL OR RUBBER 2. RESILIENT FLOORING REDUCER STRIPS: SOLID STANDARD COLOR SELECTED, FACE WIDTH INCH OR 1-1/4 INCH, 1/8 INCH THICK TAPERED TO FLOOR ON OPPOSITE EDGE, OF
- 3. RESILIENT FLOORING THRESHOLDS: SOLID STANDARD COLOR SELECTED, 5-1/2 INCH FULL WIDTH, 2-3/4 INCH HALF WIDTH, 1/2 INCH HIGH TAPERED TO 1/4 INCH AT EDGE, HOMOGENEOUS VINYL OR RUBBER.

MANUFACTURERS A. ARMSTRONG

PRODUCTS/MANUFACTURERS

JOHNSONITE ROPPE

INSTALLATION

A. INSTALL IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. INSTALL RESILIENT BASE IN ADHESIVE ON ALL VERTICAL SURFACES SCHEDULED AND INDICATED. FIELD FORM CORNERS, HEATING AND COOLING BASE AS NECESSARY TO PERMANENTLY SET THE SHAPE. ALTERNATE MATERIALS AND METHODS MAY BE SUBMITTED TO THE OWNER FOR REVIEW A MINIMUM OF 2 WEEKS PRIOR TO ANTICIPATED USE AT THE SITE.

A. CLEAN ADHESIVE FROM ADJACENT FINISHED SURFACES AS WORK PROGRESSES. CLEAN AREA OF ALL BASE MATERIALS UPON COMPLETION OF FLOORING INSTALLATION.

SECTION 09900 PAINTING AND PAINT MATERIALS

- A. FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED FOR THE COMPLETION OF THE WORK SPECIFIED IN THIS DIVISION IN ACCORDANCE WITH THE SPECIAL CONDITIONS AND GENERAL CONDITIONS IN DIVISION 1, AND THE DRAWINGS.
- B. PROVIDE ALL MATERIAL, LABOR AND EQUIPMENT TO PRODUCE PAINTED AND FINISHED SURFACES AS SHOWN AND SCHEDULED ON THE DRAWINGS AND AS SPECIFIED HEREIN, TO PROVIDE PROPERLY FINISHED SURFACES THROUGHOUT. THIS SECTION, IN CONJUNCTION WITH THE COLOR/FINISH SCHEDULES ON THE DRAWINGS, ESTABLISHES THE SCOPE OF THE PAINTING WORK, THE SURFACES TO BE PAINTED, AND THE PAINT SYSTEMS TO BE USED.

MANUFACTURERS A. BENJAMIN MOORE

PAINT MATERIALS

- A. PROVIDE MANUFACTURER'S BEST-QUALITY PAINT MATERIAL FOR COATINGS SPECIFIED. PROVIDE PAINTS RECOMMENDED BY MANUFACTURERS FOR APPLICATION INDICATED. PROVIDE PAINT CONTAINERS WITH MANUFACTURER'S STANDARD IDENTIFICATION LABELS.
- PREPARATION OF SURFACES A. REMOVE HARDWARE FROM DOORS AND OTHER MISCELLANEOUS HARDWARE, PLATES, LIGHTS AND MISCELLANEOUS ITEMS. MASK AND COVER ITEMS IMPRACTICAL TO MOVE OR DISASSEMBLE
- BEFORE PREPARATION OF SURFACES AND PAINTING. B. CLEAN SUBSTRATES OF GREASE, OIL AND MATERIALS DETRIMENTAL TO THE BONDING OF THE
- PREPARATION OF SURFACES: PROVIDE CLEANING AND PREPARATION OF SURFACES ACCORDING TO THE WRITTEN INSTRUCTIONS OF THE MANUFACTURER FOR EACH SUBSTRATE SPECIFIED.
- PAINT APPLICATION A. APPLY PAINT IN ACCORDANCE WITH THE PAINT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS WHICH FOLLOW.
- B. PAINT COATS, AS SPECIFIED UNDER "PAINTING SCHEDULE", ARE INTENDED TO COVER SURFACES PERFECTLY. IF SURFACES ARE NOT ADEQUATELY COVERED, AS DETERMINED BY THE OWNER'S REPRESENTATIVE, APPLY FURTHER COATS TO ACHIEVE COMPLETE COVERAGE OF SURFACES AT NO ADDITIONAL COST TO OWNER C. SAND LIGHTLY BETWEEN COATS

COLORS A. COLORS SHALL BE AS SELECTED BY THE OWNER. CLEAN-UP

- A. REMOVE SOILED RAGS, EMPTY PAINT CONTAINERS AND OTHER PAINT DEBRIS FROM THE SITE
- DAILY. DISPOSE OF WASTE MATERIALS IN A LEGAL MANNER. REMOVE PAINT SPATTERS FROM ADJACENT SURFACES IN A MANNER THAT DOES NOT DAMAGE THE SURFACE. CLEAN OR WASH ADJACENT SURFACES TO RESTORE ACCEPTABLE FINISH

APPEARANCE.

- A. PROTECT INSTALLED WORK BY OTHERS, INCLUDING WORK NOT PAINTED, FROM DAMAGE BY PAINTING. PROVIDE APPROPRIATE MASKING AND COVERINGS OVER ADJACENT CONSTRUCTION. CLEAN, REPAIR, REPLACE OR REPAINT DAMAGED SURFACES AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- CLOSE OFF THE VARIOUS SPACES WHILE PAINTING, AND EXCLUDE DUST UNTIL THE FINISH IS DRY. POST "WET PAINT" SIGNS AS REQUIRED TO PROTECT NEWLY FINISHED SPACES. AT COMPLETION OF THIS WORK IN A SPACE, REMOVE PAINT SPOTS FROM FLOORS, GLASS AND

OTHER SURFACES. LEAVE FINISHED SPACE CLEAN AND IN ACCEPTABLE CONDITION. PAINTING SCHEDULE INTERIOR SYSTEMS

- A. DOOR FRAMES AND TRIM (SEMI GLOSS FINISH) FIRST COAT AND PRIMER: FOR BARE STEEL AND TOUCH UP OF SHOP COAT.
- SECOND COAT: INTERIOR ALKYD SEMI-GLOSS ENAMEL. THIRD COAT: INTERIOR
- B. WALLS (EGGSHELL FINISH)
- FIRST COAT AND PRIME
- SECOND COAT: INTERIOR THIRD COAT: INTERIOR
- C. CEILINGS (FLAT FINISH) FIRST COAT AND PRIMER
 - SECOND COAT: INTERIOR ACRYLIC FLAT ENAMEL. THIRD COAT: INTERIOR ACRYLIC EGGSHELL ENAMEL

RENOVATIONS

SPECIFICATIONS

D.ISENOGLE DRAWN BY: J.RITCHIE **CHECKED BY:** 19-107.AA

A-5 of 5

Sheet Size: 24" x 36" (Arch D)

Architecture / Engineering 37740 Hills Tech Drive Farmington Hills, Michigan 48331 Tel: 248.491.3234 / www.COREdg.net **CLIENT:**

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ISSUED DATE:

12/19/19

01/10/2020

KEY PLAN

PROFESSIONAL SEAL:

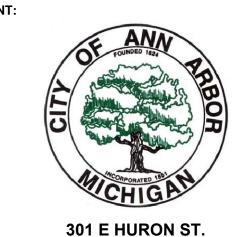
ISSUED FOR:

AREA OF WORK

LARCOM

BUILDING

REVIEW



PROJECT TITLE:

CITY OF ANN ARBOR MUNICIPAL CENTER

ANN ARBOR, MI 48104

SHEET TITLE:

D.ISENOGLE DESIGNED BY

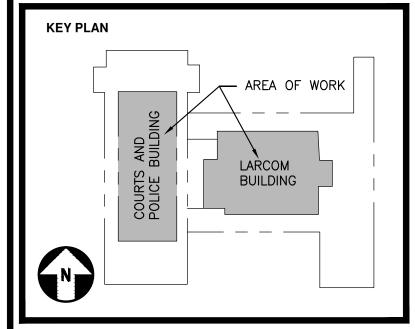
GENERAL ELECTRICAL DEMOLITION NOTES:

- 1. SCOPE OF WORK: ELECTRICAL DEMOLITION SHALL INCLUDE DISCONNECTION, REMOVAL, RELOCATION AND RECONNECTION OF POWER FOR EXISTING LIGHTING FIXTURES, RECEPTACLES, SWITCHES, WIRING, CONDUIT, BOXES, ETC. IN THE AREA OF
- 2. SITE SURVEY: VISIT THE SITE PRIOR TO SUBMISSION OF BID TO EXAMINE EXISTING CONDITIONS AND THE EXTENT OF DEMOLITION WORK.
- COORDINATION WITH OTHER TRADES: EXAMINE DRAWINGS OF ALL TRADES TO BE FAMILIAR WITH DEMOLITION REQUIREMENTS OF OTHER TRADES. PROVIDE ALL INCIDENTAL ELECTRICAL DEMOLITION AND/OR RELOCATION TO FACILITATE THE DEMOLITION WORK OF OTHER TRADES WHETHER OR NOT SHOWN ON THE DRAWINGS.
- 4. COORDINATION: COORDINATE DEMOLITION WITH NEW WORK FOR EXTENT OF DEMOLITION.
- 5. RACEWAYS: REMOVE ALL UNUSED EXPOSED CONDUIT. WIRE. DATA/VOICE CABLE. RACEWAY, JUNCTION BOXES, HANGERS AND CLAMPS BACK TO THE PANEL. WHERE CONDUITS ARE CONCEALED IN WALL CAVITIES, CUT AND REMOVE THE CONDUITS ABOVE EXISTING WALL LEADING INTO AN ACCESSIBLE CEILING OR TRUSS SPACE. PROVIDE NEW BLANK COVER PLATES. REMOVE ALL SURFACE MOUNTED ELECTRICAL DEVICES, BOXES AND RELATED CONDUIT.
- 6. HATCHING: REMOVE ALL CROSSHATCHED ELECTRICAL EQUIPMENT AND DEVICES AS SHOWN ON PLANS, INCLUDING ALL BRANCH CIRCUITRY, CONDUITS AND BOXES, BACK TO SOURCE OR TO NEAREST ACTIVE JUNCTION BOX, UNLESS OTHERWISE NOTED.
- 7. FIRE ALARM: MODIFICATION SHALL INCLUDE REMOVAL AND RELOCATION OF EXISTING FIRE ALARM DEVICES. COORDINATE CHANGES WITH OWNER'S REPRESENTATIVE. REMOVE ALL CONDUIT, JUNCTION BOXES AND WIRING BACK TO SOURCE OR TO NEAREST JUNCTION BOX WITH ACTIVE CIRCUITS. NOTIFY SITE SECURITY AND/OR OWNER A MINIMUM 48 HOURS PRIOR TO PERFORMING MODIFICATIONS TO EXISTING FIRE ALARM
- 8. ACTIVE CIRCUITS: ACTIVE CIRCUITS TO REMAIN, EXIST IN WORK AREAS. WHERE REMOVAL OF CONDUIT AND WIRING AFFECTS THE OPERATION OF "UP-STREAM" AND/OR "DOWN-STREAM" ELECTRICAL EQUIPMENT, WHICH IS NOT INDICATED TO BE REMOVED, MAINTAIN AND PROVIDE ALL REQUIRED CONDUITS AND WIRING TO RESTORE THE ELECTRICAL EQUIPMENT TO ITS NORMAL OPERATION IN ADDITION TO COORDINATING WITH OWNER AND ALL ASSOCIATED PARTIES. SYSTEMS INCLUDE: FIRE ALARM, SECURITY, VOICE, P.A. SPEAKER SYSTEM, DATA, MECHANICAL CONTROLS & EMERGENCY/NIGHT LIGHTING. TAKE CARE TO MAINTAIN THESE SYSTEMS FOR AREAS OUTSIDE THE WORK
- 9. SUPPORT: RE-SUPPORT ITEMS WHERE WALLS AND SUPPORTS ARE SCHEDULED FOR REMOVAL.
- 10. LOW VOLTAGE CABLING: REMOVE ALL UNUSED DATA/COMMUNICATIONS CONDUITS AND CABLING COMING FROM TELEPHONE AND DATA CLOSETS.
- 11. PROTECTION: PROTECT EXISTING ITEMS TO REMAIN FROM DAMAGE BY OTHER DEMOLITION ACTIVITIES.
- 12. CARD READERS: MODIFICATION SHALL INCLUDE REMOVAL, RELOCATION AND ADDITIONS TO EXISTING CARD READER SYSTEM IN THE AREA. COORDINATE DEVICE CHANGES WITH OWNER'S REPRESENTATIVE. REMOVE ALL CONDUITS, JUNCTION BOXES AND WIRING BACK TO SOURCE AND/OR BACK TO NEAREST JUNCTION BOX WITH ACTIVE CIRCUITS. NOTIFY SITE SECURITY AND/OR OWNER MINIMUM 48 HOURS PRIOR TO PERFORMING MODIFICATIONS TO EXISTING CARD READER SYSTEM.
- 13. MATERIAL: MATERIAL THAT IS REMOVED, LIGHT FIXTURES, WIRING DEVICES, CONDUITS, ETC. SHALL BECOME THE PROPERTY OF CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL OF SUCH

12/19/19 **REVIEW** 01/10/2020

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301 E HURON ST. ANN ARBOR, MI 48104

PROJECT TITLE:

CITY OF ANN ARBOR MUNICIPAL CENTER **RENOVATIONS**

ELECTRICAL DEMOLITION PLANS

JOB No.:	19-107.AA
CHECKED BY:	J.RITCHIE
DRAWN BY:	D.ISENOGLE
DESIGNED BY:	D.ISENOGLE

SHEET No.:	ED-1 of 1
JOB No.:	19-107.AA
CHECKED BY:	J.RITCHIE
DRAWN BY:	D.ISENOGLE
DESIGNED BY:	D.ISENOGLE

KEYED DEMOLITION NOTES

REMOVE AND RELOCATE LIGHT FIXTURES

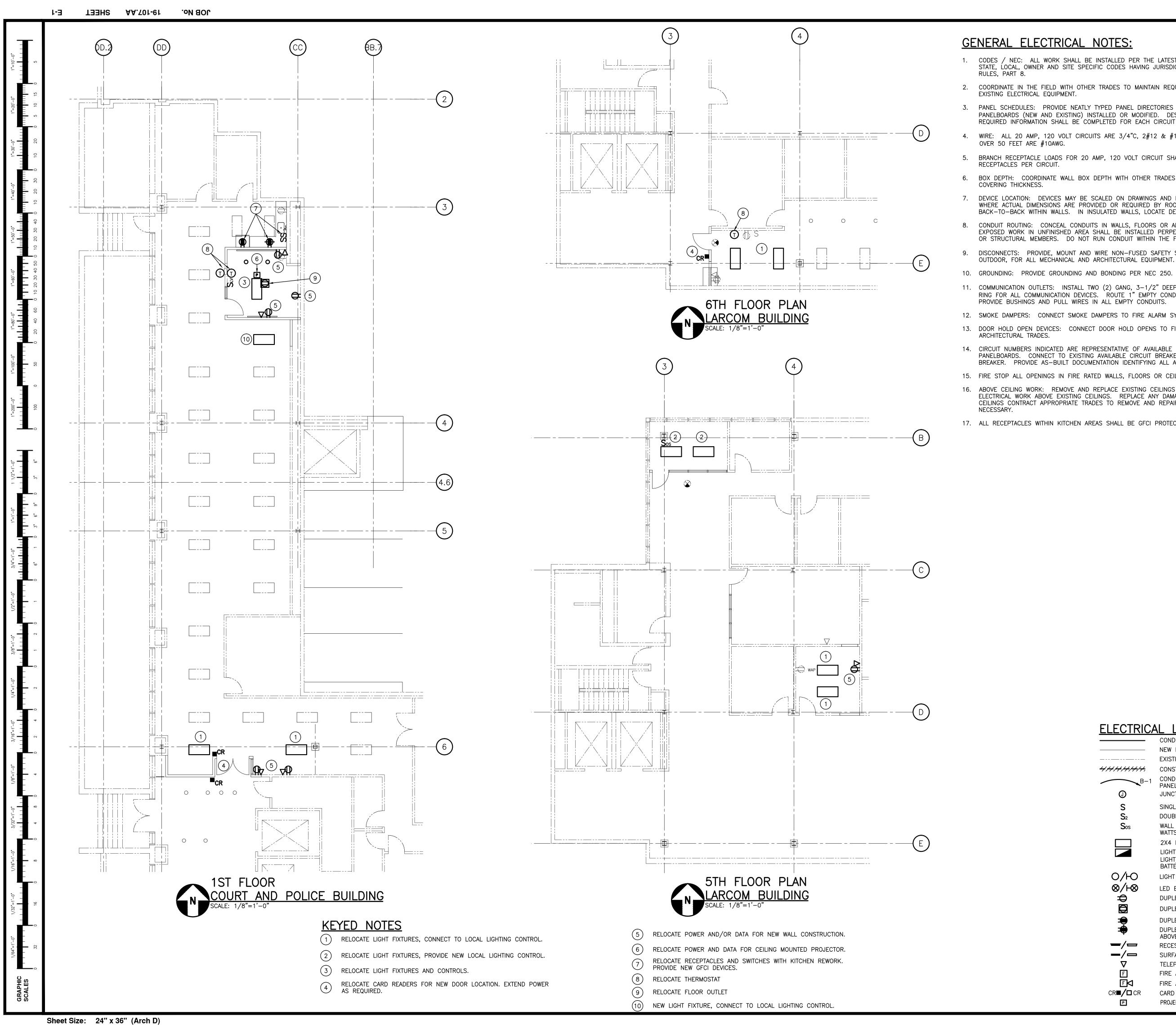
REMOVE LIGHT FIXTURES AND ASSOCIATED LIGHTING CONTROLS.

REMOVE DEVICES

REMOVE AND RELOCATE EXIT SIGN

REMOVE AND RELOCATE CARD READERS AND ASSOCIATED WIRING FOR DOOR.

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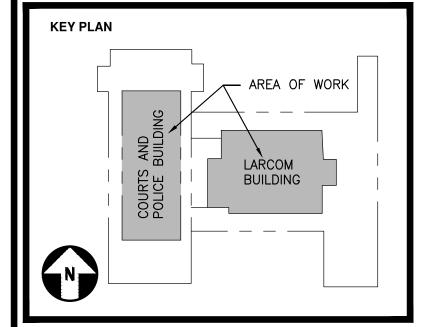


GENERAL ELECTRICAL NOTES:

- 1. CODES / NEC: ALL WORK SHALL BE INSTALLED PER THE LATEST ADOPTED EDITION OF THE NEC AND ALL STATE, LOCAL, OWNER AND SITE SPECIFIC CODES HAVING JURISDICTION, INCLUDING MICHIGAN ELECTRICAL CODE RULES, PART 8.
- 2. COORDINATE IN THE FIELD WITH OTHER TRADES TO MAINTAIN REQUIRED CLEARANCES AROUND NEW AND EXISTING ELECTRICAL EQUIPMENT.
- 3. PANEL SCHEDULES: PROVIDE NEATLY TYPED PANEL DIRECTORIES TO THE ENGINEER AND OWNER FOR ALL PANELBOARDS (NEW AND EXISTING) INSTALLED OR MODIFIED. DESIGNATE LOAD SERVED BY EACH CIRCUIT. REQUIRED INFORMATION SHALL BE COMPLETED FOR EACH CIRCUIT IN EACH PANEL.
- WIRE: ALL 20 AMP, 120 VOLT CIRCUITS ARE 3/4"C, 2#12 & #12G WITH DEDICATED NEUTRALS. HOMERUNS OVER 50 FEET ARE #10AWG.
- 5. BRANCH RECEPTACLE LOADS FOR 20 AMP, 120 VOLT CIRCUIT SHALL NOT EXCEED SIX (6) DUPLEX RECEPTACLES PER CIRCUIT.
- 6. BOX DEPTH: COORDINATE WALL BOX DEPTH WITH OTHER TRADES FOR PROPER PLACEMENT DUE TO WALL COVERING THICKNESS.
- 7. DEVICE LOCATION: DEVICES MAY BE SCALED ON DRAWINGS AND MOUNTED ON THE NEAREST STUD EXCEPT WHERE ACTUAL DIMENSIONS ARE PROVIDED OR REQUIRED BY ROOM LAYOUT. DO NOT LOCATE DEVICE BOXES BACK-TO-BACK WITHIN WALLS. IN INSULATED WALLS, LOCATE DEVICES IN ADJACENT STUD SPACE.
- 8. CONDUIT ROUTING: CONCEAL CONDUITS IN WALLS, FLOORS OR ABOVE CEILINGS FOR FINISHED AREAS. EXPOSED WORK IN UNFINISHED AREA SHALL BE INSTALLED PERPENDICULAR OR PARALLEL TO WALLS, CEILINGS, OR STRUCTURAL MEMBERS. DO NOT RUN CONDUIT WITHIN THE FLUTES OF THE ROOF DECK.
- 9. DISCONNECTS: PROVIDE, MOUNT AND WIRE NON-FUSED SAFETY SWITCHES, NEMA 1, INDOOR OR NEMA 12/3R
- 10. GROUNDING: PROVIDE GROUNDING AND BONDING PER NEC 250.
- 11. COMMUNICATION OUTLETS: INSTALL TWO (2) GANG, 3-1/2" DEEP WALL BOX WITH RAISED SINGLE PLASTER RING FOR ALL COMMUNICATION DEVICES. ROUTE 1" EMPTY CONDUIT UP TO ACCESSIBLE CEILING SPACE ABOVE. PROVIDE BUSHINGS AND PULL WIRES IN ALL EMPTY CONDUITS.
- 12. SMOKE DAMPERS: CONNECT SMOKE DAMPERS TO FIRE ALARM SYSTEM.
- 13. DOOR HOLD OPEN DEVICES: CONNECT DOOR HOLD OPENS TO FIRE ALARM PANEL. COORDINATE WITH ARCHITECTURAL TRADES.
- 14. CIRCUIT NUMBERS INDICATED ARE REPRESENTATIVE OF AVAILABLE CIRCUIT BREAKER POSITIONS IN EXISTING PANELBOARDS. CONNECT TO EXISTING AVAILABLE CIRCUIT BREAKER IN PANELBOARD OR PROVIDE NEW CIRCUIT BREAKER. PROVIDE AS-BUILT DOCUMENTATION IDENTIFYING ALL ACTIVE BRANCH CIRCUITS AND LOADS.
- 15. FIRE STOP ALL OPENINGS IN FIRE RATED WALLS, FLOORS OR CEILINGS.
- 16. ABOVE CEILING WORK: REMOVE AND REPLACE EXISTING CEILINGS AS REQUIRED FOR ALL SYSTEMS AND ELECTRICAL WORK ABOVE EXISTING CEILINGS. REPLACE ANY DAMAGED CEILING TILES OR GRID. FOR HARD CEILINGS CONTRACT APPROPRIATE TRADES TO REMOVE AND REPAIR CEILING. PROVIDE ACCESS PANELS AS
- 17. ALL RECEPTACLES WITHIN KITCHEN AREAS SHALL BE GFCI PROTECTED.

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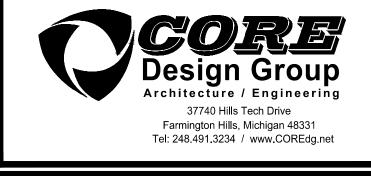
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ELECTRICAL PLANS

DESIGNED BY:	D.ISENOGLE
DRAWN BY:	D.ISENOGLE
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JOB No.:	19-107.AA

E-1 of 1

ELECTRICAL LEGEND

NEW BUILDING CONSTRUCTION EXISTING CONSTRUCTION CONSTRUCTION TO BE REMOVED (DEMOLITION) CONDUIT HOME RUN TO PANEL — PANEL AND CIRCUIT NO. INDICATED

> JUNCTION BOX SINGLE POLE TOGGLE SWITCH DOUBLE POLE SWITCH WALL MOUNTED, 5AMP OCCUPANCY SENSOR LIGHT SWITCH

WATTSTOPPER, SENSORSWITCH OR LEVITON-IPV051LZ 2X4 LIGHT FIXTURE LIGHT FIXTURE CONNECTED TO NIGHT

LIGHT/LIFE SAFETY CIRCUIT OR W/EMERGENCY

LIGHT FIXTURE - CEILING/WALL MOUNT LED EXIT LIGHT — PENDANT/ WALL MOUNTED DUPLEX RECEPTACLE DUPLEX RECEPTACLE - FLOOR MOUNTED DUPLEX RECEPTACLE, G.F.C.I. TYPE

BATTÉRY UNIT

DUPLEX RECEPTACLE, G.F.C.I. TYPE -

ABOVE COUNTER TOP RECESSED ELECTRICAL PANEL - NEW/EXISTING SURFACE MOUNTED ELECTRICAL PANEL - NEW/EXISTING TELEPHONE/DATA OUTLET

FIRE ALARM PULLSTATION FIRE ALARM HORN/STROBE CARD READER - NEW/EXISTING PROJECTOR