CONSTRUCTION PLAN DRAWINGS FOR
ANN ARBOR PARKS & RECREATION FULLER PARK IMPROVEMENTS
SECTION 21 AND 28 T2S-R6E
CITY OF ANN ARBOR
WASHTENAW COUNTY, MICHIGAN

UTILITIES AND MUNICIPALITIES

THE EXISTING UTILITIES LISTED BELOW AND SHOWN ON THESE PLANS REPRESENT THE BEST INFORMATION AVAILABLE AS OBTAINED FROM THE UTILITY OWNERS. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO BE SATISFIED AS TO ITS ACCURACY AND THE LOCATION OF EXISTING UTILITIES.

NAME OF OWNER	CONTACT	TYPE OF UTILITY
ATT	ERIKA BIERD EK2436@ATT.COM (800) 321–2000	TELEPHONE
ANN ARBOR CITY 301 E. HURON ANN ARBOR, MI 48104	DAVID FIEGEL DFIEGEL@A2GOV.ORG (734) 794–6410 EXT. 43662	LAND USE POTABLE WATER SANITARY SEWER STORM SEWER FIBER OPTICS ELECTRIC
COMCAST 41112 CONCEPT DR PLYMOUTH, MI 48170	RALPH TRUAX RALPH_TRUAX@CABLE.COMCAST.COM (734) 216–8097	CABLE TV
DTE ENERGY	MICHAEL D LOWE SEMI_GASDESIGN@DTEENERGY.COM SARA KIPP SARA.FORCE@DTEENERGY.COM (313) 407–5364 (248) 318–7839	ELECTRIC GAS
UNIVERSITY OF MICHIGAN 1239 KIPKE DR ANN ARBOR, MI 48109	TERRY RAMSEY TRAMSEY@UMICH.EDU (734) 660–4699	ELECTRIC FIBER OPTICS POTABLE WATER SANITARY SEWER STORM SEWER

SHEET INDEX

VICINITY MAP
NOT TO SCALE

ENGINEER INFORMATION

ROWE PROFESSIONAL SERVICES COMPANY
540 S. SAGINAW ST., SUITE 200
FLINT, MI 48502
DOUG SCHULTZ, PLA
(810) 869–5170

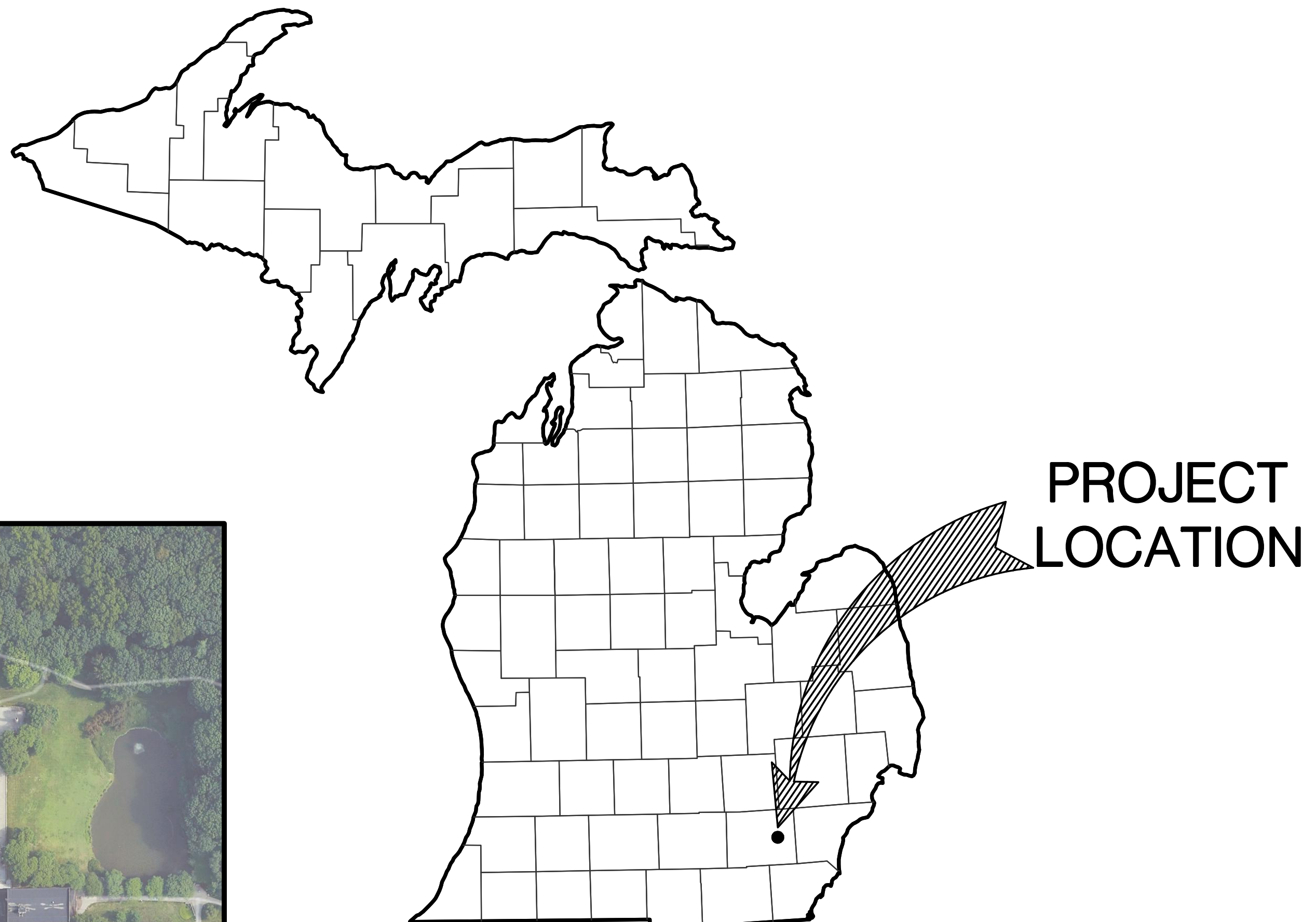
OWNER INFORMATION

ANN ARBOR PARKS & RECREATION
LAURIE TABACHNICK, AICP, ASST. PARKS PLANNER
301 E. HURON ST.
ANN ARBOR, MICHIGAN 48104
PHONE: (734) 974–6320 EXT. 42541
EMAIL: LTABACHNICK@A2GOV.ORG

SCOTT SPOONER, PARKS AND RECREATION SERVICES DEPUTY MANAGER–MAINTENANCE
4251 STONE SCHOOL ROAD, ANN ARBOR, MICHIGAN 48108
PHONE: (734) 974–6320 EXT. 43319
EMAIL: SSPOONER@A2GOV.ORG

SITE LOCATION

1519 FULLER RD, ANN ARBOR, MI 48105



PROJECT DESCRIPTION

THIS PROJECT INCLUDES RECONSTRUCTION OF FULLER PARK'S HMA PAVEMENT, AND THE RECONSTRUCTION AND WIDENING OF AN HMA PATH ALONG FULLER ROAD FROM MAIDEN LANE TO CEDAR BEND DRIVE.

LEGAL DESCRIPTION

PARCEL NUMBER 09–09–21–400–001
LEGAL DESCRIPTION:
PRT S 1/2 SEC 21 & N 1/2 SEC 28 T2S R6E BD S BY FULLER ST NLY WLY & ELY BY HURON RIVER

GENERAL NOTES

FOR ALL CONSTRUCTION ACTIVITY THAT DISTURBS 5 ACRES OR MORE OF LAND, THE OWNER OF THE PROPERTY SHALL OBTAIN AN NPDES STORM WATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FROM THE EGLE AS REQUIRED UNDER P.A. 245. THE NOTICE OF COVERAGE APPLICATION SHALL BE SUBMITTED THROUGH THE EGLE MIWATERS WEB SITE. THE DISTURBED AREA FOR THIS PROJECT IS APPROXIMATELY **1.94** ACRES. A NPDES PERMIT **IS NOT** REQUIRED FOR THIS PROJECT.

NAME OF AND DISTANCE TO NEAREST LAKE, STREAM OR DRAIN: THE PARKING LOT RECONSTRUCTION PROJECT IS APPROXIMATELY 750 FEET FROM THE HURON RIVER, WHILE THE HMA PATH RECONSTRUCTION PROJECT ABUTS THE BRIDGE THAT CROSSES OVER THE HURON RIVER.

811®
Know what's **below.**
Call before you dig.

PLAN SUBMITTALS AND CHANGES

BIDDING DOCUMENTS	
DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

PLAN DATE: SEPTEMBER 2024
PROJECT MGR.: DRS
REVIEWER: AJW
SCALE: NOT TO SCALE

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
COVER SHEET

REV:

SHT# 1 OF 19
JOB No: 2400478

PLOTTED: 9/9/2024 4:19 PM R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-COV_NEW.dwg

SURVEY MONUMENTATION

- TRAVERSE POINT
- BENCHMARK
- ALIGNMENT POINT
- SET IRON
- FOUND IRON
- SET MONUMENT
- FOUND MONUMENT
- SECTION & 1/4 CORNER
- 1/8 & 1/16 CORNER
- NGS & USGS MONUMENT
- SECTION LINE
- EXISTING PROPERTY LINE (APPROX)
- PARCEL LINE / LOT LINE
- EXISTING EASEMENT LINE
- 33' ROW — EXISTING RIGHT OF WAY
- PROPOSED EASEMENT
- 60' ROW — PROPOSED RIGHT OF WAY
- 11+00 — PROJECT CONTROL LINE

MISCELLANEOUS TOPO

- SATELLITE DISH
- ANTENNA
- COLUMN
- FLOOD LIGHT
- FOUNTAIN
- STATUE/SCULPTURE
- GRAVE MARKER
- PLANTER BOX
- ROCK
- MAILBOX
- PAPER BOX
- FENCE GATE
- TRASH CAN
- PICNIC TABLE
- PARK BENCH
- BBQ GRILL
- DUMPSTER
- BIKE RACK
- AIR CONDITIONING UNIT
- PAY PHONE/BOOTH
- SOIL BORING
- MONITORING WELL
- BUMPER BLOCK
- SWAMP OR WETLAND

SIGNS, SIGNALS & POSTS

- FLAG POLE
- ADVERTISING/BUSINESS SIGN
- POST (WOOD/METAL/CONCRETE/FENCE)
- HIGHWAY DELINEATOR POST
- EXISTING TRAFFIC SIGN
- PARKING METER
- BILLBOARD
- CANTILEVERED TRAFFIC SIGN
- CANTILEVERED SIGN
- PEDESTRIAN SIGNAL
- PEDESTRIAN CROSSING BUTTON
- TRAFFIC SIGNAL
- RAILROAD CROSSING GATE
- RAILROAD CROSSING SIGNAL
- PROPOSED TRAFFIC SIGN

PLAYGROUND EQUIPMENT

- SWING SET
- SLIDE (STRAIGHT)
- SLIDE (SPIRAL)
- MONKEY BARS (RECTANGLE)
- MONKEY BARS (ROUND)
- VOLLEYBALL POLE
- MERRY-GO-ROUND
- BASKETBALL HOOP POST
- FOOTBALL/SOCCER GOAL

MISCELLANEOUS UTILITIES

- CABLE TV RISER
- CABLE TV MARKER POST
- CIRCUIT BREAKER
- ELECTRIC METER
- ELECTRIC OUTLET
- ELECTRIC RISER
- ELECTRIC TRANSFORMER PAD
- ELECTRIC TRANSMISSION TOWER
- ELECTRIC MANHOLE
- ELECTRIC MARKER POST
- TELEPHONE RISER
- TELEPHONE MANHOLE
- TELEPHONE MARKER POST
- FIBER OPTIC MARKER POST
- UTILITY HANDHOLE
- STRAIN POLE
- UTILITY/LIGHT POLE
- GUY WIRE
- GUY POLE
- UTILITY POLE
- WOOD LIGHT POLE
- METAL LIGHT POLE
- ORNAMENTAL LIGHT POLE
- POLE BOX
- TRAFFIC CONTROL BOX
- ELECTRIC VEHICLE CHARGING STATION
- EXISTING MISCELLANEOUS MANHOLE
- O/H — EXISTING OVERHEAD UTILITY LINE
- U/G ELEC — EXISTING U.G. ELECTRIC LINE
- U/G TEL — EXISTING U.G. TELEPHONE LINE
- U/G F/O — EXISTING U.G. FIBER OPTIC LINE
- U/G CATV — EXISTING U.G. CABLE TV LINE

GAS

- GAS METER
- GAS RISER
- GAS STOP BOX
- GAS VALVE
- GAS VENT
- GAS BLOW OFF
- PROPANE TANK
- GAS TEST STATION
- GAS FILLPORT
- GAS PUMP
- GAS MANHOLE
- GAS MARKER POST
- 6" S-MP GAS — EXISTING U.G. GAS LINE

WATER MAIN

- EXISTING FIRE HYDRANT
- EXISTING WATER GATE VALVE AND BOX
- EXISTING WATER STOP BOX
- EXISTING WATER GATE VALVE AND WELL
- EXISTING WATER METER PIT
- EXISTING WATER WELL
- EXISTING SPRINKLER HEAD
- EXISTING POST HYDRANT
- EXISTING WATER BACK FLOW PREVENTER
- EXISTING WATER TOWER
- EXISTING SPRINKLER VALVE
- EXISTING WATER METER
- EXISTING WATER FAUCET/SPIGOT
- EXISTING WATER MANHOLE
- EXISTING WATER VALVE
- EXISTING WATER POST VALVE
- EXISTING WATER AIR RELEASE VALVE
- EXISTING WATER MARKER POST
- PROPOSED FIRE HYDRANT
- PROPOSED WATER GATE VALVE AND BOX
- PROPOSED WATER STOP BOX
- PROPOSED WATER GATE VALVE AND WELL
- PROPOSED WATER MAIN REDUCER
- PROPOSED WATER MAIN SLEEVE
- 12" WM — EXISTING WATER MAIN
- 12" WM — REMOVE WATER MAIN
- 12" WM — ABANDON WATER MAIN
- PROPOSED WATER MAIN

STORM SEWER

- EXISTING CURB INLET
- EXISTING SQUARE CATCHBASIN
- EXISTING ROUND CATCHBASIN
- EXISTING DOWNSPOUT
- EXISTING STORM SEWER CLEANOUT
- EXISTING STORM MANHOLE
- EXISTING PIPE INLET/OUTLET
- EXISTING STORM MARKER POST
- EX 1812 — EXISTING STORM SEWER STRUCTURE NUMBER
- PROPOSED CATCH BASIN IN CURB LINE (5' DIA AND SMALLER)
- PROPOSED CATCH BASIN IN CURB LINE (6' DIA AND LARGER)
- PROPOSED CATCH BASIN IN GREEN SPACE (5' DIA AND SMALLER)
- PROPOSED CATCH BASIN IN GREEN SPACE (6' DIA AND LARGER)
- PROPOSED STORM MANHOLE (5' DIA AND SMALLER)
- PROPOSED STORM MANHOLE (6' DIA AND LARGER)
- PROPOSED CULVERT END SECTION
- PROPOSED STORM SEWER CLEANOUT
- 1 — PROPOSED STORM SEWER STRUCTURE NUMBER
- 12" STM — EXISTING STORM SEWER
- 12" CONC — EXISTING DRIVE/CROSS CULVERT
- 12" STM — REMOVE STORM SEWER
- 12" STM — ABANDON STORM SEWER
- PROPOSED STORM SEWER LESS THAN 24"
- PROPOSED STORM SEWER 24" AND GREATER

SANITARY SEWER

- EXISTING SANITARY MANHOLE
- EXISTING SANITARY PUMP STATION
- EXISTING SANITARY SEWER VALVE
- EXISTING SEPTIC TANK
- EX 5236 — EXISTING SANITARY SEWER STRUCTURE NUMBER
- EXISTING SANITARY SEWER CLEANOUT/RISER
- EXISTING SANITARY MARKER POST
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER CLEANOUT
- A — PROPOSED SANITARY SEWER STRUCTURE NUMBER
- 12" SAN — EXISTING SANITARY SEWER
- 12" SAN — REMOVE SANITARY SEWER
- 12" SAN — ABANDON SANITARY SEWER
- 12" SAN FM — EXISTING SANITARY FORCE MAIN
- 12" SAN FM — REMOVE SANITARY FORCE MAIN
- 12" SAN FM — ABANDON SANITARY FORCE MAIN
- PROPOSED SANITARY SEWER

TREES & SHRUBS

- STUMP
- DECIDUOUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS TREE
- CONIFEROUS SHRUB
- DEAD TREE
- EXISTING EDGE OF WOODS
- EXISTING EDGE OF BRUSH
- PROPOSED EDGE OF WOODS
- PROPOSED EDGE OF BRUSH

PARCEL INFORMATION

- 401-069 — PARCEL/TAX IDENTIFICATION NUMBER
- #5324 — EXISTING BUILDING AND ADDRESS/BUSINESS NAME

CAUTION SYMBOLS

- ••CAUTION•• HAZARDOUS FLAMMABLE MATERIAL UNDERGROUND — USED WITH UNDERGROUND GAS & ELECTRICAL LINES
- ••CAUTION•• FIBER OPTIC — USED WITH FIBER OPTIC LINES
- ••CAUTION•• CRITICAL UNDERGROUND UTILITY — USED WITH CRITICAL UNDERGROUND LINES

PLAN VIEW LINETYPES

- EXISTING CENTERLINE OF DITCH
- EXISTING FENCE
- EXISTING GUARDRAIL
- EXISTING RAILROAD TRACK
- 960 — EXISTING CONTOUR MAJOR
- 958 — EXISTING CONTOUR MINOR
- EXISTING EDGE OF WETLAND
- EXISTING SHORELINE / EDGE OF WATER
- EXISTING TOP OF BANK
- EXISTING TOE OF SLOPE
- PROPOSED DITCH CENTERLINE
- PROPOSED FENCE
- 960 — PROPOSED CONTOUR MAJOR
- 958 — PROPOSED CONTOUR MINOR
- PROPOSED SLOPE STAKE LINE
- PROPOSED SILT FENCE

PROPOSED CALLOUTS

TOPO CALLOUTS	PLAN VIEW	
ADJ	(ADJ)	ADJUST STRUCTURE
ADJ-X	(ADJ-X)	ADJUST STRUCTURE W/ NEW COVER
ADJ-B/O	(ADJ-B/O)	ADJUST STRUCTURE BY OTHERS
REC	(REC)	RECONSTRUCT STRUCTURE
REL	(REL)	RELOCATE
REL-B/O	(REL-B/O)	RELOCATE BY OTHERS
REM	(R)	REMOVE
R&R	(R&R)	REMOVE AND REPLACE
SALV	(SALV)	SALVAGE
SAVE	(S)	SAVE
ABN	(A)	ABANDON
CLR	(C)	CLEARING
	(B)	BULKHEAD
	(SR-X)	SIDEWALK RAMP TYPE
	(##)	SOIL EROSION CONTROL MEASURE

GPR LOCATED EXISTING U.G. LINES

- GPR CATV — U.G. CABLE TV LINE (GPR LOCATED)
- GPR ELEC — U.G. ELECTRIC LINE (GPR LOCATED)
- GPR FO — U.G. FIBER OPTIC LINE (GPR LOCATED)
- GPR GAS — U.G. GAS LINE (GPR LOCATED)
- GPR MISC — U.G. MISCELLANEOUS LINE (GPR LOCATED)
- GPR SAN — U.G. SANITARY SEWER LINE (GPR LOCATED)
- GPR STM — U.G. STORM SEWER LINE (GPR LOCATED)
- GPR TELE — U.G. TELEPHONE LINE (GPR LOCATED)
- GPR UNK — U.G. UNKNOWN LINE (GPR LOCATED)
- GPR WTR — U.G. WATER LINE (GPR LOCATED)

PAVEMENT IDENTIFICATION

- EXISTING EDGE OF GRAVEL
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER

REMOVAL HATCHING LEGEND

- REMOVE CURB AND GUTTER
- REMOVE PAVEMENT
- REMOVE SIDEWALK

PROPOSED HATCHING LEGEND

- PROPOSED HMA DRIVE
- PROPOSED HMA PATH
- PROPOSED CONCRETE PATH

Know what's **below.** **Call** before you dig.

PLAN SUBMITTALS AND CHANGES

BIDDING DOCUMENTS

DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

REV:

SHT# 2 OF 19

JOB No: 2400478

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: NOT TO SCALE

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
GENERAL LEGEND

R:\Projects\2400478\Dwg\Construction Drawings\SR-2400478-LEGEND.dwg

PLOTTED: 9/9/2024 4:19 PM

GENERAL CONSTRUCTION NOTES

EMERGENCY CONTACTS
BEFORE BEGINNING WORK ON THE PROJECT, THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH THE NAMES AND TELEPHONE NUMBERS OF EMERGENCY CONTACTS. AT LEAST ONE PERSON REPRESENTING THE CONTRACTOR SHALL BE AVAILABLE TO RESPOND TO EMERGENCIES THROUGHOUT THE LIFE OF THE PROJECT, 24 HOURS A DAY, 7 DAYS A WEEK.

UNDERGROUND UTILITY IDENTIFICATION AND LOCATION
THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORK DAYS IN ADVANCE OF BEGINNING EXCAVATION. THE CONTRACTOR IS RESPONSIBLE TO IDENTIFY AND NOTIFY UTILITY AGENCIES WITHIN THE PROJECT AREA WHICH DO NOT PARTICIPATE IN THE MISS DIG NOTIFICATION PROGRAM.

PUBLIC UTILITIES
EXISTING UTILITIES ARE SHOWN BASED UPON RECORDS AND LOCATIONS PROVIDED BY UTILITY AGENCIES. THE INFORMATION SHOWN IS CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. UNLESS THE PLANS SPECIFICALLY SHOW THAT EXISTING UTILITIES ARE TO BE MOVED, THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN EXISTING UTILITIES.

VERIFICATION OF UNDERGROUND UTILITIES
THE CONTRACTOR SHALL EXCAVATE AND LOCATE ALL EXISTING UTILITIES IN THE PROJECT AREA IN ADVANCE OF CONSTRUCTION TO VERIFY THEIR ACTUAL LOCATION. POTENTIAL CONFLICTS SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL MAKE SUCH CHANGES TO GRADE AND ALIGNMENT OF PROPOSED WORK AS DIRECTED BY THE ENGINEER TO AVOID CONFLICTS, AT NO INCREASE IN COST TO THE OWNER.

UTILITY SERVICE
UNLESS SPECIFICALLY PROVIDED OTHERWISE IN THE CONTRACT DOCUMENTS, ALL EXISTING UTILITIES ARE TO REMAIN IN SERVICE DURING THE PROJECT.

SOIL BORINGS / PAVEMENT CORES
IF PROVIDED ON THE PLANS OR IN THE CONTRACT DOCUMENTS, LOGS OF SOIL BORINGS OR PAVEMENT CORES REPRESENT THE SUBSURFACE CONDITIONS ENCOUNTERED AT SPECIFIC POINTS. THE INFORMATION IS PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY.

MAINTAINING TRAFFIC
LOCAL AND EMERGENCY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES WITHIN THE PROJECT AREA.

WHEN EXCAVATION, FRESH CONCRETE, OR OTHER CONSTRUCTION WORK WILL RESULT IN THE CLOSURE OF A STREET OR DRIVEWAY FOR A PERIOD OF TIME, THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL AFFECTED RESIDENTS AND BUSINESSES IN ADVANCE.

THE CONTRACTOR SHALL NOTIFY EMERGENCY RESPONSE AGENCIES IN ADVANCE OF ROAD CLOSURES OR THE ESTABLISHMENT OF DETOURS.

THE CONTRACTOR SHALL IMPLEMENT THE PEDESTRIAN DETOUR PLAN (REFER TO SPECIFICATIONS).

TRAFFIC SIGNS
TRAFFIC SIGNS WHICH INTERFERE WITH CONSTRUCTION SHALL BE REMOVED AND REPLACED BY THE AGENCY HAVING JURISDICTION OVER THE STREETS OR ROADS IN THE PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE AGENCY TO ARRANGE FOR REMOVAL OF THE SIGN AND IS RESPONSIBLE TO PAY ANY FEES ASSOCIATED WITH THE REMOVAL AND REPLACEMENT OF THE SIGNS.

SCHEDULE
THE CONTRACTOR SHALL COMPLETE ALL WORK IN AN EXPEDITIOUS MANNER AND SHALL NOT STOP WORK ON THE PROJECT ONCE BEGUN.

ALIGNMENT
ALIGNMENT AND GRADES FOR CURB AND GUTTER (INCLUDING THROUGH RAMPS AND DRIVEWAY OPENINGS) SHOWN ON THE PLANS ARE FOR THE TOP, BACK OF CURB, UNLESS SPECIFICALLY SHOWN OTHERWISE ON THE PLANS.

THE HORIZONTAL ALIGNMENT SHOWN ON THE DRAWINGS FOR DRAINAGE STRUCTURES LOCATED IN THE CURB LINE IS TO THE CENTER OF THE CASTING.

THE HORIZONTAL ALIGNMENT SHOWN ON THE DRAWINGS FOR DRAINAGE STRUCTURES WHICH ARE NOT IN THE CURB LINE AND FOR MANHOLES IS TO THE CENTER OF THE STRUCTURE.

WHERE RIM ELEVATIONS ARE PROVIDED ON THE PLANS FOR MANHOLE CASTINGS, THE ELEVATION PROVIDED IS FOR THE TOP OF THE CASTING.

WHERE RIM ELEVATIONS ARE PROVIDED FOR INLET TYPE CASTINGS, THE ELEVATIONS ARE PROVIDED AS FOLLOWS:
- CURB INLETS – THE ELEVATION OF THE TOP OF CURB
- ALL OTHER INLETS – THE ELEVATION OF THE FLOW LINE

WHERE RIM ELEVATIONS ARE PROVIDED ON THE PLANS FOR INLETS OR MANHOLE CASTINGS, THE ELEVATIONS PROVIDED ARE CONSIDERED PRELIMINARY. THE CONTRACTOR SHALL MAKE THE FINAL ADJUSTMENT FOLLOWING THE ESTABLISHMENT OF ACTUAL GRADING AND PAVEMENT ELEVATIONS.

CONSTRUCTION STAKING
WHEN CONSTRUCTION STAKING IS TO BE PROVIDED BY THE ENGINEER OR OWNER, THE CONTRACTOR SHALL REQUEST STAKING AT LEAST THREE WORKING DAYS IN ADVANCE.

WHEN CONSTRUCTION STAKING IS TO BE PROVIDED BY THE ENGINEER OR OWNER, STAKING WILL BE PROVIDED ONE TIME. THE CONTRACTOR SHALL PROTECT AND PRESERVE SURVEY CONTROL AND STAKING. RE-STAKING WILL BE AT THE CONTRACTOR'S EXPENSE.

SURVEY CORNERS, BENCHMARKS, AND CONTROL POINTS
THE CONTRACTOR SHALL PRESERVE ALL GOVERNMENT CORNERS, PROPERTY CORNERS, BENCHMARKS, SURVEY CONTROL POINTS AND OTHER SURVEY POINTS WITHIN THE PROJECT AREA. WHERE CORNERS, BENCHMARKS, OR SURVEY POINTS ARE ENCOUNTERED WHICH WILL BE DISTURBED BY THE CONTRACTOR'S ACTIVITIES; A LICENSED SURVEYOR SHALL WITNESS THE POINT BEFORE DISTURBANCE AND SHALL RE-SET THE POINT FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL PAY THE SURVEYOR TO WITNESS AND TO RE-SET THE POINTS.

PROTECTION OF TREES, SHRUBS, AND LANDSCAPING
ALL TREES, SHRUBS, AND LANDSCAPING WITHIN THE CONSTRUCTION AREA WHICH ARE NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED TREES, SHRUBS, AND LANDSCAPING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

CONSTRUCTION SIGNING AND BARRICADING
THE CONTRACTOR SHALL PROTECT HAZARDOUS AREAS WITH BARRICADES. BARRICADES LEFT IN PLACE AFTER SUNSET SHALL BE LIGHTED.

THE CONTRACTOR SHALL PROVIDE SUITABLE SANDBAGS OR OTHER SUITABLE MEASURES FOR ANCHORING OF TEMPORARY SIGNS AND BARRICADES, TO PREVENT THEIR TIPPING OR DISPLACEMENT BY WIND OR AIR FLOW FROM VEHICLES.

THE CONTRACTOR SHALL PROVIDE SIGNING, BARRICADES, TRAFFIC REGULATORS, CONES, AND OTHER TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCY HAVING JURISDICTION OVER STREETS OR ROADS IN THE PROJECT AREA, THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE PLANS AND SPECIFICATIONS.

THE CONTRACTOR SHALL COVER OR REMOVE TEMPORARY SIGNS DURING PERIODS WHEN THEY ARE NOT APPROPRIATE.

TURF ESTABLISHMENT
ALL DISTURBED AREAS WHICH ARE NOT TO BE SURFACED WITH PAVEMENT, AGGREGATE OR OTHER APPROVED SURFACES SHALL BE ESTABLISHED WITH TURF.

TURF AREAS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE.

DISTURBED AREAS SHALL BE SURFACED WITH THREE INCHES OF SCREENED TOPSOIL.

THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH TURF WHICH IS SUBSTANTIALLY FREE OF BARE SPOTS AND FREE OF WEEDS. THE GROUND SURFACE IN TURF AREAS SHALL BE SMOOTH AND PROVIDE A NATURAL TRANSITION TO ADJACENT, UNDISTURBED AREAS.

THE CONTRACTOR IS RESPONSIBLE TO PROVIDE WATERING, WEEDING, RESEEDING, AND REWORKING AS NECESSARY TO ESTABLISH TURF AREAS TO THE REQUIRED STANDARD.

EARTHWORK
THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE EARTHWORK QUANTITIES, AND BASE THEIR BID ON THEIR DETERMINATION OF THE QUANTITIES OF WORK REQUIRED.

IF ADDITIONAL FILL MATERIAL MUST BE PROVIDED TO ATTAIN THE FINISH GRADES SHOWN ON THE PLANS, THE CONTRACTOR SHALL PROVIDE THE REQUIRED FILL MATERIAL, UNLESS A SPECIFIC BORROW AREA IS IDENTIFIED ON THE PLANS.

EXCESS SOILS RESULTING FROM EXCAVATION AND EARTHWORK SHALL BECOME THE CONTRACTOR'S PROPERTY AND DISPOSED OF PROPERLY, UNLESS AN AREA(S) HAS BEEN DESIGNATED FOR STOCKPILING OR "BLENDING IN" THE EXCESS MATERIAL WITHIN THE PROJECT LIMITS.

BACKFILL AND EMBANKMENT
BACKFILL OF AN EXCAVATION UNDER OR WITHIN THE ONE ON ONE INFLUENCE OF AN EXISTING OR PROPOSED ROAD, SIDEWALK, DRIVEWAY, PAVEMENT, OR AGGREGATE SURFACE, SHALL BE SAND, MEETING THE REQUIREMENTS OF GRANULAR MATERIAL CLASS III AS DESCRIBED IN THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE SAND BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

BACKFILL OF AN EXCAVATION WHICH IS NOT UNDER OR WITHIN THE ONE ON ONE INFLUENCE OF AN EXISTING OR PROPOSED ROAD, SIDEWALK, DRIVEWAY, PAVEMENT, OR AGGREGATE SURFACE MAY BE SUITABLE EXCAVATED MATERIAL OR OTHER SOIL, WHICH IS FREE OF ORGANIC MATTER, STONES AND ROCKS, ROOTS, BROKEN CONCRETE, FROZEN MATERIAL, OR DEBRIS. THE BACKFILL SHALL BE COMPACTED TO AT LEAST 90% OF ITS MAXIMUM UNIT WEIGHT.

THE CONTRACTOR SHALL INDICATE THE SOURCE OF SAND USED FOR BACKFILL TO THE ENGINEER, AND PROVIDE THE ENGINEER WITH THE RESULTS OF A GRADATION TEST PERFORMED ON A SAMPLE OF THE SAND. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ADVANCE OF USING SAND FROM OTHER SOURCES.

EMBANKMENT USED TO BUILD THE SUBGRADE TO REQUIRED ELEVATION SHALL BE SUITABLE SOIL EXCAVATED FROM THE PROJECT SITE, OR FURNISHED BY THE CONTRACTOR FROM OTHER SOURCES. SUITABLE SOIL IS FREE FROM ORGANIC MATTER, ROCKS AND STONES, FROZEN MATERIAL, BROKEN CONCRETE, AND DEBRIS.

EMBANKMENT CONSTRUCTED OF GRANULAR SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

EMBANKMENT CONSTRUCTED OF COHESIVE SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

DENSITY TESTING
THE MAXIMUM UNIT WEIGHT OF SAND AND OTHER GRANULAR SOILS WILL BE DETERMINED BY THE ONE POINT CONE TEST, AS DESCRIBED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S DENSITY TESTING AND INSPECTION MANUAL, EXCEPT WHEN ANOTHER TEST METHOD IS SPECIFIED.

THE MAXIMUM UNIT WEIGHT OF COHESIVE SOILS WILL BE DETERMINED BY THE ONE POINT PROCTOR TEST, AS DESCRIBED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S DENSITY TESTING AND INSPECTION MANUAL, EXCEPT WHEN ANOTHER TEST METHOD IS SPECIFIED.

WORK HOURS
UNLESS PROVIDED OTHERWISE IN THE CONTRACT DOCUMENTS OR LIMITED BY LOCAL ORDINANCE, THE CONTRACTOR SHALL WORK WITHIN OF THE FOLLOWING TIMES, UNLESS OTHERWISE APPROVED BY THE OWNER:
MONDAY THROUGH FRIDAY 7 A.M. TO 8 P.M.
SATURDAY 8 A.M. TO 6 P.M.

THE CONTRACTOR SHALL NOT WORK ON SUNDAYS OR HOLIDAYS, UNLESS OTHERWISE APPROVED BY THE OWNER.

DRAINAGE
THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE EXISTING DRAINAGE FACILITIES ARE DISTURBED OR BLOCKED BY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROVISIONS FOR DRAINAGE.

WHERE CONSTRUCTION HAS DISTURBED EXISTING DITCHES, SWALES, OR OTHER DRAINAGE FACILITIES; THE CONTRACTOR SHALL RESTORE THEM TO THEIR GRADES AND DIMENSIONS WHICH EXISTED PRIOR TO THE BEGINNING OF CONSTRUCTION, UNLESS DIRECTED OTHERWISE.

DRAINAGE SHALL NOT BE REROUTED ONTO ADJACENT PROPERTIES NOR ALLOWED TO DRAIN ONTO ADJACENT PROPERTIES AT AN INCREASED RATE, AS A RESULT OF THE CONTRACTOR'S WORK.

PAVING PROJECTS
ADJUSTING STRUCTURES
WHERE CASTINGS FOR MANHOLES, CATCH BASINS, INLETS, VALVE BOXES, AND MONUMENT BOXES ARE TO BE ADJUSTED TO MEET A NEW PAVEMENT SURFACE ELEVATION, THE FINAL ADJUSTMENT SHALL NOT BE COMPLETED UNTIL ALL PAVEMENT COURSES HAVE BEEN PLACED EXCEPT THE FINAL COURSE. THE FINAL ADJUSTMENT SHALL BE COMPLETED JUST PRIOR TO PLACEMENT OF THE FINAL COURSE OF PAVEMENT.

THE MATERIALS AND PROCEDURES FOR ADJUSTING STRUCTURES SHALL MEET THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION OVER THE ROAD AND UTILITIES.

SUBGRADE PREPARATION
TOPSOIL, PEAT, AND ORGANIC MATERIAL SHALL BE EXCAVATED AND REMOVED.

SOFT AND YIELDING SOILS SHALL BE REMOVED OR DRIED IF THE RESULT OF EXCESSIVE MOISTURE CONTENT.

PRIOR TO CONSTRUCTING FILLS, SUBBASE, OR PAVEMENT ON A SUBGRADE; THE SUBGRADE SHALL BE PROOF-ROLLED TO DETERMINE THE SUITABILITY OF THE SUBGRADE. THE CONTRACTOR SHALL DRIVE A HEAVY PIECE OF WHEELED CONSTRUCTION EQUIPMENT OVER THE SUBGRADE WHILE THE ENGINEER IS OBSERVING. THE CONSTRUCTION OF FILLS, SUBBASE, OR PAVEMENTS SHALL NOT PROCEED UNTIL THE SUBGRADE HAS BEEN DEMONSTRATED TO BE FREE OF SOFT AREAS.

THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE MOISTURE CONTENT OF SUBGRADE SOILS WITHIN A SUITABLE RANGE TO ALLOW FOR COMPACTION TO THE REQUIRED DENSITY. WHEN THE SOIL IS TOO DRY, THE CONTRACTOR SHALL ADD WATER. WHEN THE SOIL IS TOO WET, THE CONTRACTOR SHALL PROVIDE DRAINAGE OR AERATE THE SOIL.

THE SURFACE OF THE SUBGRADE SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT, PRIOR TO CONSTRUCTING FILLS, SUBBASE, OR PAVEMENTS.

CURB AND GUTTERS
THE CONTRACTOR SHALL DETERMINE THE LOCATION AND DIMENSIONS OF CURB OPENINGS FOR DRIVEWAYS, RAMPS, AND DRAINAGE STRUCTURES.

HOT MIX ASPHALT (HMA) PAVING
PAVEMENTS WHICH ARE TO BE OVERLAID WITH A NEW PAVEMENT COURSE SHALL BE SWEPT TO REMOVE ALL DIRT AND DEBRIS.

A BITUMINOUS BOND COAT SHALL BE APPLIED TO PAVEMENTS WHICH ARE TO BE OVERLAID WITH A NEW PAVEMENT COURSE AND ALLOWED TO CURE PRIOR TO CONSTRUCTING THE NEW PAVEMENT COURSE.

HMA PAVEMENT SHALL NOT BE PLACED WHEN THE SURFACE BEING OVERLAID IS WET, OR WHEN RAIN IS FORECAST OR THREATENING.

10' WIDE PATH, 2073' LENGTH

DESCRIPTION	QUANTITY	UNITS
Pavt, Rem	1950	Syd
Fence, Rem	60	Ft
HMA, 5EML	200	Tons
HMA, 4EML	200	Tons
Conc, 6 inch	2800	Sft
Aggregate Base, 8 inch	2250	Syd
Aggregate Base, 5 inch	350	Syd
Detectable Warning Surface	50	Ft
Sign, Salv	2	Ea
Chain Link Fence, 4' Ht	60	Ft
Utility Covers, Adjust	10	Ea
Clearing	1	LSUM
Earthwork	1	LSUM
Erosion Control, Silt Fence	4000	Ft
Erosion Control, Inlet Protection, Fabric Drop	8	Ea
Turf Establishment	1	LSUM
Maintaining Traffic	1	LSUM
Construction Staking	1	LSUM
Audio-Video Construction Area Survey	1	LSUM
Mobilization	1	LSUM
Detour Signage and Barricading	1	LSUM

PARKING LOT

DESCRIPTION	QUANTITY	UNITS
Pavt, Rem	5705	Syd
HMA, 5EML	550	Tons
HMA, 4EML	900	Tons
Aggregate Base, 8 inch	5705	Syd
Curb and Gutter, Replacement	180	Ft
Geotextile, Stabilization	5705	Syd
Geotextile, Separator	5705	Syd
Pavement Markings	1	LSUM
Earthwork	1	LSUM
Erosion Control, Gravel Access Approach	1	Ea
Maintaining Traffic	1	LSUM
Construction Staking	1	LSUM
Audio-Video Construction Area Survey	1	LSUM
Mobilization	1	LSUM

NOTE: QUANTITIES SHOWN ARE FOR INFORMATION PURPOSES ONLY. CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION FOR QUANTITIES AS SHOWN ON THESE PLANS.

Know what's **below.**
Call before you dig.

PLAN SUBMITTALS AND CHANGES
BIDDING DOCUMENTS

DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: NO SCALE

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
GENERAL NOTES AND PROJECT QUANTITIES

REV:

SHT# 3 OF 19

JOB No: 2400478

R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-NT.dwg
PLOTTED: 9/9/2024 4:19 PM

PROPOSED PATH ALIGNMENT

BENCHMARK DATA TABLE

NUMBER	NORTHING	EASTING	ELEVATION	STATION	OFFSET	DESCRIPTION
BM 5	287382	13295515	772.83	10+06.52	55.57' RT	CUT "X" TOP SOUTHWESTERLY ANCHOR BOLT LIGHT POLE BASE IN MEDIAN OF FULLER ROAD, 4'± SOUTH OF BACK OF CURB, 32'± WEST OF GAS PIPELINE MARKER
BM 6	287678	13295991	769.27	15+21.24	154.30' LT	TURN ARROW ON HYDRANT, 8'± WEST OF FENCE AROUND POOL, 57'± NORTH OF MAILBOX #1519

TRAVERSE POINT DATA TABLE

NUMBER	NORTHING	EASTING	STATION	OFFSET	DESCRIPTION
TP 1	287580.1575	13295952.5755	14+78.46	57.99' LT	SET 1/2" IRON WITH "ROWE TRAV" CAP IN CURB ISLAND, 45'± NORTH OF "FULLER PARK" ENTRANCE SIGN, 8'± EAST OF BACK OF CURB
TP 2	287509.9455	13295913.1475	14+35.62	10.19' RT	SET 1/2" IRON WITH "ROWE TRAV" CAP, 45'± WEST NORTHWEST OF "FULLER PARK" ENTRANCE SIGN, 3'± WEST OF BACK OF CURB
TP 3	287452.6325	13295588.8255	10+97.87	17.96' RT	SET 1/2" IRON WITH "ROWE TRAV" CAP, 45'± WEST OF "U OF M" ROAD SIGN, 8'± NORTH OF BACK OF CURB, FULLER ROAD
TP 4	287367.7535	13295213.2175	7+14.91	6.14' RT	SET 1/2" IRON WITH "ROWE TRAV" CAP, 2.5'± NORTH OF STONE WALL, 270'± EAST OF CENTERLINE MAIDEN LANE
TP 7	287784.9345	13295902.4945	14+38.55	264.99' LT	SET 1/2" IRON WITH "ROWE TRAV" CAP, 62'± NORTHWEST OF EASTERLY PILLAR OF SOLAR PANEL ARRAY, 8'± NORTHWEST OF NORTHWEST CORNER CONCRETE PAD
TP 8	287697.0825	13295686.9655	12+29.70	191.76' LT	SET 1/2" IRON WITH "ROWE TRAV" CAP, 51'± WEST OF WESTERLY PILLAR OF SOLAR PANEL ARRAY, 4'± NORTHWEST OF BACK OF CURB
TP 9	287666.7815	13295451.1075	10+51.00	233.22' LT	SET 1/2" IRON WITH "ROWE TRAV" CAP, 38'± WEST OF NO PARKING SIGN, 8'± EAST OF EDGE OF GRAVEL DRIVE

ALIGNMENT POINT DATA TABLE

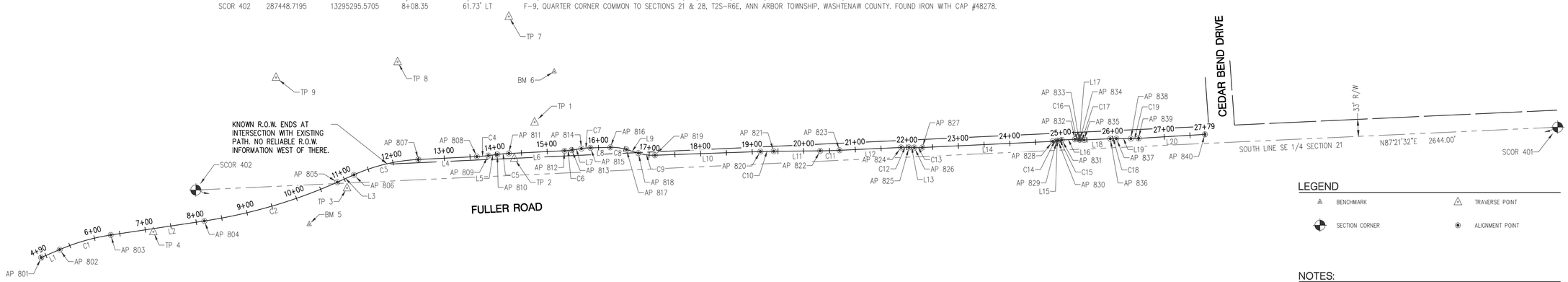
NUMBER	NORTHING	EASTING	STATION	OFFSET	DESCRIPTION
AP 801	287317.8952	13294995.7329	4+90.00	0.00' RT	POINT OF BEGINNING OF THE PROPOSED PATH ALIGNMENT
AP 802	287333.3038	13295031.4716	5+28.92	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 803	287361.5715	13295130.5536	6+32.24	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 804	287388.7753	13295312.0744	8+15.79	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 805	287463.8938	13295569.9443	10+85.19	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 806	287478.2084	13295602.1575	11+20.44	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 807	287507.9385	13295727.0053	12+49.51	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 808	287513.5484	13295840.4893	13+63.13	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 809	287515.5036	13295862.9231	13+85.66	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 810	287517.6712	13295880.2479	14+03.12	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 811	287519.6264	13295902.6817	14+25.64	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 812	287524.9598	13296010.5735	15+33.67	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 813	287526.2927	13296024.4384	15+47.60	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 814	287529.0017	13296043.3489	15+66.70	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 815	287530.4702	13296060.8502	15+84.28	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 816	287531.4384	13296099.3658	16+22.80	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 817	287527.2594	13296130.5910	16+54.44	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 818	287520.3375	13296153.6839	16+78.55	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 819	287516.1874	13296185.8736	17+11.15	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 820	287523.3063	13296390.4567	19+15.85	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 821	287523.8704	13296416.1986	19+41.60	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 822	287524.6856	13296506.4337	20+31.84	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 823	287525.7266	13296543.9031	20+69.33	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 824	287531.2830	13296663.2561	21+88.81	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 825	287531.4025	13296678.7808	22+04.34	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 826	287531.0836	13296689.0231	22+14.59	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 827	287531.2031	13296704.5478	22+30.11	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 828	287542.9709	13296957.3273	24+83.17	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 829	287544.1116	13296965.1273	24+91.06	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 830	287544.6614	13296967.3364	24+93.34	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 831	287545.8021	13296975.1365	25+01.24	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 832	287546.9753	13297000.3371	25+26.46	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 833	287546.5642	13297008.2093	25+34.36	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 834	287546.2220	13297010.4599	25+36.64	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 835	287545.8109	13297018.3322	25+44.53	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 836	287548.1708	13297069.0252	25+95.28	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 837	287548.4413	13297080.6914	26+06.95	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 838	287548.4367	13297108.9771	26+35.24	0.00' RT	POINT OF CURVATURE OF THE PROPOSED PATH ALIGNMENT
AP 839	287548.8806	13297123.9086	26+50.18	0.00' RT	POINT OF TANGENCY OF THE PROPOSED PATH ALIGNMENT
AP 840	287556.5545	13297252.5124	27+79.01	0.00' RT	POINT OF ENDING OF THE PROPOSED PATH ALIGNMENT

SECTION CORNER DATA TABLE

NUMBER	NORTHING	EASTING	STATION	OFFSET	DESCRIPTION
SCOR 401	287570.5565	13297936.7645	N/A	N/A	G-9, SECTION CORNER COMMON TO SECTIONS 21, 22, 27 & 28, T2S-R6E, ANN ARBOR TOWNSHIP, WASHTENAW COUNTY. FOUND MONUMENT IN BROKEN MONUMENT BOX.
SCOR 402	287448.7195	13295295.5705	8+08.35	61.73' LT	F-9, QUARTER CORNER COMMON TO SECTIONS 21 & 28, T2S-R6E, ANN ARBOR TOWNSHIP, WASHTENAW COUNTY. FOUND IRON WITH CAP #48278.

ALIGNMENT LINE DATA		
LINE #	BEARING	DISTANCE
L1	N66°40'37"E	38.92'
L2	N81°28'36"E	183.55'
L3	N66°02'28"E	35.25'
L4	N87°10'12"E	113.62'
L5	N82°52'05"E	17.46'
L6	N87°10'12"E	108.02'
L7	N81°50'52"E	19.10'
L8	N88°33'36"E	38.53'
L9	S73°18'52"E	24.11'
L10	N88°00'26"E	204.71'
L11	N89°28'57"E	90.24'
L12	N87°20'05"E	119.48'
L13	S88°13'00"E	10.25'
L14	N87°20'05"E	253.05'
L15	N76°01'29"E	2.28'
L16	N87°20'05"E	25.23'
L17	S81°21'20"E	2.28'
L18	N87°20'05"E	50.75'
L19	S89°59'27"E	28.29'
L20	N86°35'07"E	128.83'

ALIGNMENT CURVE DATA					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	103.32'	400.00'	14°48'00"	N74°04'37"E	103.04'
C2	269.40'	1000.00'	15°26'08"	N73°45'32"E	268.59'
C3	129.07'	350.00'	21°07'44"	N76°36'20"E	128.34'
C4	22.52'	300.00'	4°18'06"	N85°01'09"E	22.52'
C5	22.52'	300.00'	4°18'06"	N85°01'09"E	22.52'
C6	13.93'	150.00'	5°19'20"	N84°30'32"E	13.93'
C7	17.57'	150.00'	6°42'44"	N85°12'14"E	17.56'
C8	31.64'	100.00'	18°07'33"	S82°22'38"E	31.50'
C9	32.60'	100.00'	18°40'43"	S82°39'13"E	32.46'
C10	25.75'	1000.00'	1°28'31"	N88°44'41"E	25.75'
C11	37.49'	1000.00'	2°08'52"	N88°24'31"E	37.48'
C12	15.53'	200.00'	4°26'55"	N89°33'32"E	15.53'
C13	15.53'	200.00'	4°26'55"	N89°33'32"E	15.53'
C14	7.90'	40.00'	11°18'36"	N81°40'47"E	7.88'
C15	7.90'	40.00'	11°18'36"	N81°40'47"E	7.88'
C16	7.90'	40.00'	11°18'36"	S87°00'38"E	7.88'
C17	7.90'	40.00'	11°18'36"	S87°00'38"E	7.88'
C18	11.67'	250.00'	2°40'29"	N88°40'19"E	11.67'
C19	14.94'	250.00'	3°25'27"	N88°17'50"E	14.94'



LEGEND

- BENCHMARK
- TRAVERSE POINT
- SECTION CORNER
- ALIGNMENT POINT

NOTES:

VERTICAL DATUM IS NAVD88
HORIZONTAL DATUM IS MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE NAD83 (2011)
UNITS ARE INTERNATIONAL FEET
ALIGNMENT IS BASED UPON BEST FIT CENTERLINE OF PROPOSED PATH

Know what's **below.** **Call** before you dig.

PLAN SUBMITTALS AND CHANGES	
BIDDING DOCUMENTS	
DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: 1" = 100'

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
ALIGNMENT AND CONTROL DATA SHEET

REV:
SHT# 4 OF 19
JOB No: 2400478

R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-Ctrl.dwg
PLOTTED: 9/9/2024 4:19 PM

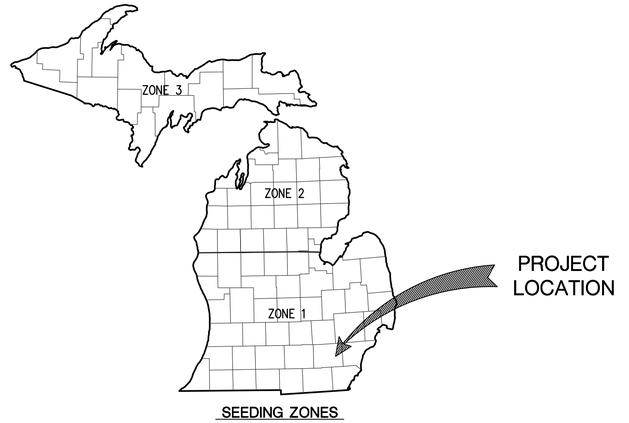
MICHIGAN UNIFIED KEYING SYSTEM

SOIL EROSION SEDIMENTATION CONTROL MEASURES

✱ INDICATES APPLICABILITY OF A SPECIFIC CONTROL MEASURE TO ONE OR MORE OF THE SEVEN PROBLEM AREAS

KEY	DETAIL	CHARACTERISTICS	A SLOPES	B STREAMS AND WATERWAYS	C SURFACE DRAINAGEWAYS	D ENCLOSED DRAINAGE (Inlet & Outfall Control)	E LARGE FLAT SURFACE AREAS	F BORROW AND STOCKPILE AREAS	G ADJACENT PROPERTIES
1	STRIPPING & STOCKPILING TOPSOIL	TOPSOIL MAY BE STOCKPILED ABOVE BORROW AREAS TO ACT AS A DIVERSION. STOCKPILE SHOULD BE TEMPORARILY SEEDED.	✱				✱	✱	
2	SELECTIVE GRADING & SHAPING	WATER CAN BE DIVERTED TO MINIMIZE EROSION. FLATTER SLOPES EASE EROSION PROBLEMS.	✱				✱	✱	✱
3	GRUBBING OMITTED	SAVES COST OF GRUBBING, PROVIDES NEW SPROUTS, RETAINS EXISTING ROOT MAT SYSTEM, REDUCES WIND FALL AT NEW FOREST EDGE DISCOURAGES EQUIPMENT ENTRANCE	✱				✱		✱
4	VEGETATIVE STABILIZATION	MAY UTILIZE A VARIETY OF PLANT MATERIAL STABILIZES SOIL SLOWS RUNOFF VELOCITY FILTERS SEDIMENT FROM RUNOFF	✱	✱	✱		✱	✱	✱
5	SEEDING	INEXPENSIVE AND VERY EFFECTIVE STABILIZES SOIL, THUS MINIMIZING EROSION PERMITS RUNOFF TO INFILTRATE SOIL, REDUCING RUNOFF VOLUME SHOULD INCLUDE PREPARED TOPSOIL BED	✱		✱		✱	✱	✱
6	SEEDING WITH MULCH AND/OR MATTING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER EFFECTIVE FOR DRAINAGEWAYS WITH LOW VELOCITY EASILY PLACED IN SMALL QUANTITIES BY INEXPERIENCED PERSONNEL SHOULD INCLUDE PREPARED TOPSOIL BED	✱		✱			✱	✱
7	HYDRO-SEEDING	EFFECTIVE ON LARGE AREAS MULCH TACKING AGENT USED TO PROVIDE IMMEDIATE PROTECTION UNTIL GRASS IS ROOTED SHOULD INCLUDE PREPARED TOPSOIL BED	✱				✱	✱	✱
8	SODDING	PROVIDES IMMEDIATE PROTECTION CAN BE USED IN STEEP SLOPES WHERE SEED MAY BE DIFFICULT TO ESTABLISH EASY TO PLACE; MAY BE REPAIRED IF DAMAGED SHOULD INCLUDE PREPARED TOPSOIL BED	✱		✱		✱	✱	✱
9	VEGETATIVE BUFFER STRIP	SLOWS RUNOFF VELOCITY FILTERS SEDIMENT FROM RUNOFF REDUCES VOLUME OF RUNOFF ON SLOPES	✱	✱					✱
10	MULCHING	USED ALONE TO PROTECT EXPOSED AREAS FOR SHORT PERIODS PROTECTS SOIL FROM IMPACT OF FALLING RAIN PRESERVES SOIL MOISTURE AND PROTECTS GERMINATING SEED FROM TEMPERATURE EXTREMES	✱				✱	✱	
11	ROUGHENED SURFACE	REDUCES VELOCITY AND INCREASES INFILTRATION RATES COLLECTS SEDIMENT HOLDS WATER, SEED, AND MULCH BETTER THAN SMOOTH SURFACES	✱				✱		
12	COMPACTION	HELPS HOLD SOIL IN PLACE, MAKING EXPOSED AREAS LESS VULNERABLE TO EROSION	✱				✱		
13	RIPRAP, RUBBLE, GABIONS	USED WHERE VEGETATION IS NOT EASILY ESTABLISHED EFFECTIVE FOR HIGH VELOCITIES OR HIGH CONCENTRATIONS PERMITS RUNOFF TO INFILTRATE SOIL DISSIPATES ENERGY FLOW AT SYSTEM OUTLETS	✱	✱	✱				
14	AGGREGATE COVER	STABILIZES SOIL SURFACE, THUS MINIMIZING EROSION PERMITS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS					✱		
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VOLUME AND VELOCITY IRREGULAR SURFACE WILL HELP SLOW VELOCITY	✱				✱		
16	CURB & GUTTER	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING PAVED SURFACE COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGEWAY					✱		✱
17	BENCHES	REDUCES RUNOFF VELOCITY BY REDUCING EFFECTIVE SLOPE LENGTH COLLECTS SEDIMENT PROVIDES ACCESS TO SLOPES FOR SEEDING, MULCHING AND MAINTENANCE	✱					✱	
18	DIVERSION BERM	DIVERTS WATER FROM VULNERABLE AREAS COLLECTS AND DIRECTS WATER TO PREPARED DRAINAGEWAYS MAY BE PLACED AS PART OF NORMAL CONSTRUCTION OPERATION	✱					✱	✱
19	DIVERSION DITCH	COLLECTS AND DIVERTS WATER TO REDUCE EROSION POTENTIAL MAY BE INCORPORATED IN PERMANENT PROJECT DRAINAGE SYSTEMS	✱					✱	✱
20	BERM & DITCH	DIVERTS WATER TO A PREPARED DRAINAGEWAY MAY BE USED AT INTERVALS ACROSS SLOPE FACE TO REDUCE EFFECTIVE SLOPE LENGTH	✱					✱	✱
21	FILTER BERM	CONSTRUCTED OF GRAVEL OR STONE INTERCEPTS AND DIVERTS RUNOFF TO STABILIZED AREAS OR PREPARED DRAINAGE SYSTEMS SLOWS RUNOFF AND COLLECTS SEDIMENT	✱	✱					✱
22	BRUSH FILTER	USES SLASH AND LOGS FROM CLEARING OPERATIONS CAN BE COVERED AND SEEDED RATHER THAN REMOVED ELIMINATES NEED FOR BURNING OR REMOVAL OF MATERIAL FROM SITE							✱
23	BARE CHANNEL	LEAST EXPENSIVE FORM OF DRAINAGEWAY MAY BE USED ONLY WHERE GRADIENT IS VERY LOW AND WITH SOILS OF MINIMUM EROSION POTENTIAL			✱				
24	GRASSED WATERWAY	MUCH MORE STABLE FORM OF DRAINAGEWAY THAN BARE CHANNEL GRASS TENDS TO SLOW RUNOFF AND FILTER OUT SEDIMENT USED WHERE BARE CHANNEL WOULD BE ERODED			✱				✱
25	SLOPE DRAIN (SURFACE PIPE)	PREVENTS EROSION ON SLOPES WHEN RUNOFF CANNOT BE DIVERTED TO EDGE OF SLOPE AREA USUALLY PERMANENT CAN BE CONSTRUCTED OR EXTENDED AS GRADING PROGRESSES	✱						✱
26	SLOPE DRAIN (PIPE CHUTE)	PREVENTS EROSION ON SLOPES WHEN RUNOFF CANNOT BE DIVERTED TO EDGE OF SLOPE AREA USUALLY PERMANENT CAN BE CONSTRUCTED OR EXTENDED AS GRADING PROGRESSES	✱						✱
27	SLOPE DRAIN (SUBSURFACE PIPE)	PREVENTS EROSION ON SLOPES WHEN RUNOFF CANNOT BE DIVERTED TO EDGE OF SLOPE AREA USUALLY PERMANENT CAN BE CONSTRUCTED AS GRADING PROGRESSES	✱						✱

KEY	DETAIL	CHARACTERISTICS	A SLOPES	B STREAMS AND WATERWAYS	C SURFACE DRAINAGEWAYS	D ENCLOSED DRAINAGE (Inlet & Outfall Control)	E LARGE FLAT SURFACE AREAS	F BORROW AND STOCKPILE AREAS	G ADJACENT PROPERTIES
28	DROP SPILLWAY	SLOWS VELOCITY OF FLOW, REDUCING EROSIVE CAPACITY		✱	✱				
29	PIPE DROP	REDUCES RUNOFF VELOCITY REMOVES SEDIMENT AND TURBIDITY CAN BE DESIGNED TO HANDLE LARGE VOLUMES OF FLOW			✱				
30	PIPE SPILLWAY	REMOVES SEDIMENT AND TURBIDITY FROM RUNOFF MAY BE PART OF PERMANENT EROSION CONTROL PLAN			✱				
31	ENERGY DISSIPATER	SLOWS RUNOFF VELOCITY TO NON-EROSIVE LEVEL PERMITS SEDIMENT COLLECTION FROM RUNOFF	✱		✱	✱			
32	LEVEL SPREADER	CONVERTS COLLECTED CHANNEL OR PIPE FLOW BACK TO SHEET FLOW AVOIDS CHANNEL EASEMENTS AND CONSTRUCTION OFF PROJECT SITE SIMPLE TO CONSTRUCT			✱				
33	SEDIMENTATION TRAP	MAY BE CONSTRUCTED OF A VARIETY OF MATERIALS TRAPS SEDIMENT AND REDUCES VELOCITY OF FLOW CAN BE CLEANED AND EXPANDED AS NEEDED		✱	✱				
34	SEDIMENT BASIN	TRAPS SEDIMENT RELEASES RUNOFF AT NON-EROSIVE RATES CONTROLS RUNOFF AT SYSTEM OUTLETS CAN BE VISUAL AMENITIES		✱	✱	✱			
35	STORM SEWER	SYSTEM REMOVES COLLECTED RUNOFF FROM SITE, PARTICULARLY FROM PAVED AREAS CAN ACCEPT LARGE CONCENTRATIONS OF RUNOFF CONDUCTS RUNOFF TO MUNICIPAL SEWER SYSTEM OR STABILIZED OUTFALL LOCATION USE CATCH BASINS TO COLLECT SEDIMENT					✱		✱
36	CATCH BASIN, DRAIN INLET	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF MAY USE FILTER CLOTH OVER INLET					✱		✱
37	SOD FILTER	INEXPENSIVE AND EASY TO CONSTRUCT PROVIDES IMMEDIATE PROTECTION PROTECTS AREAS AROUND INLETS FROM EROSION				✱			
38	STRAW BALE FILTER	INEXPENSIVE AND EASY TO CONSTRUCT CAN BE LOCATED AS NECESSARY TO COLLECT SEDIMENT MAY BE USED IN CONJUNCTION WITH SNOW FENCE FOR ADDED STABILITY				✱			✱
39	ROCK FILTER	CAN UTILIZE MATERIAL FOUND ON SITE EASY TO CONSTRUCT FILTERS SEDIMENT FROM RUNOFF				✱			✱
40	INLET SEDIMENT TRAP	EASY TO SHAPE COLLECTS SEDIMENT MAY BE CLEANED AND EXPANDED AS NEEDED				✱			
41	STONE AND ROCK CROSSING	MAY BE ROCK OR CLEAN RUBBLE MINIMIZES STREAM TURBIDITY INEXPENSIVE MAY ALSO SERVE AS DITCH CHECK OR SEDIMENT TRAP		✱					
42	TEMPORARY CULVERT	ELIMINATES STREAM TURBULENCE AND TURBIDITY PROVIDES UNOBSTRUCTED PASSAGE FOR FISH AND OTHER WATER LIFE CAPACITY FOR NORMAL FLOW CAN BE PROVIDED WITH STORM WATER FLOWING OVER ROADWAY		✱					
43	CULVERT SEDIMENT TRAP	EASY TO INSTALL AT INLET CULVERT CLEAN AND FREE FLOWING MAY BE CONSTRUCTED OF LUMBER OR LOGS		✱					✱
44	CULVERT SEDIMENT TRAP	DEFLECTS CURRENTS AWAY FROM STREAMBANK AREAS		✱					
45	TEMP. STREAM CHANNEL CHANGE	NEW CHANNEL KEEPS NORMAL FLOWS AWAY FROM CONSTRUCTION REQUIRES STATE PERMIT		✱					
46	SHEET PILINGS	PROTECTS ERODIBLE BANK AREAS FROM STREAM CURRENTS DURING CONSTRUCTION MINIMAL DISRUPTION WHEN REMOVED		✱					
47	COFFERDAM	WORK CAN BE CONTINUED DURING MOST ANTICIPATED STREAM CONDITIONS CLEAR WATER CAN BE PUMPED DIRECTLY BACK INTO STREAM		✱					
48	CONSTRUCTION DAM	PERMITS WORK TO CONTINUE DURING NORMAL STREAM STAGES CONTROLLED FLOODING CAN BE ACCOMPLISHED DURING PERIODS OF INACTIVITY		✱					
49	CHECK DAMS	REDUCES FLOW VELOCITY CATCHES SEDIMENT CAN BE CONSTRUCTED OF LOGS, STRAW, HAY ROCK, LUMBER, MASONRY, OR SAND BAGS		✱	✱				
50	WEIR	CONTROLS SEDIMENTATION IN LARGE STREAMS CAUSES MINIMAL TURBIDITY		✱	✱				
51	RETAINING WALL	REDUCES GRADIENT WHERE SLOPES ARE EXTREMELY STEEP PERMITS RETENTION OF EXISTING VEGETATION, KEEPING SOIL STABLE IN CRITICAL AREAS MINIMIZES MAINTENANCE	✱						✱
52	SEEPAGE CONTROL	PREVENTS PIPING AND SOIL SLIPPAGE ON CUT SLOPES	✱						✱
53	WINDBREAK	MINIMIZES WIND EROSION MAY BE SNOW FENCE					✱		
54	SILT FENCE	USES GEOTEXTILE FABRIC AND POSTS OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.			✱				✱



SEEDING ZONES

PERMANENT SEEDING GUIDE

	APR	MAY	JUN	JUL	AUG	SEP	OCT	
IRRIGATED AND/OR MULCH								ZONE 1
WITHOUT IRRIGATION OR MULCH								
IRRIGATED AND/OR MULCHED								ZONE 2
WITHOUT IRRIGATION OR MULCH								
IRRIGATED AND/OR MULCHED								ZONE 3
WITHOUT IRRIGATION OR MULCH								

TEMPORARY SEEDING GUIDE

ZONE 1

TYPE OF SEED	APR	MAY	JUN	JUL	AUG	SEP	OCT
SPRING OATS/BARLEY OR DOMESTIC RYEGRASS						15TH	
SUDANGRASS							
RYE OR PERENNIAL RYE							15TH
WHEAT							15TH

ZONE 2

TYPE OF SEED	APR	MAY	JUN	JUL	AUG	SEP	OCT
SPRING OATS/BARLEY OR DOMESTIC RYEGRASS						15TH	
SUDANGRASS							
RYE OR PERENNIAL RYE							15TH
WHEAT							15TH

ZONE 3

TYPE OF SEED	APR	MAY	JUN	JUL	AUG	SEP	OCT
SPRING OATS/BARLEY OR DOMESTIC RYEGRASS						15TH	
SUDANGRASS							
RYE OR PERENNIAL RYE							15TH
WHEAT							15TH

SOIL EROSION & SEDIMENTATION CONTROL

1. DEVELOPER/PROPERTY OWNER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN AND OBTAIN A SOIL EROSION & SEDIMENTATION CONTROL PERMIT PRIOR TO ANY EARTH CHANGES.
2. CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING AND/OR GRADING OPERATIONS.
3. BORROW AND FILL DISPOSAL AREAS WILL BE SELECTED AND APPROVED AT TIME OF PLAN REVIEW.
4. SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
5. CLEANUP WILL BE DONE IN A MANNER TO ENSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
6. THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENTATION CONTROL COMPLIANCE. DEFICIENCIES WILL BE CORRECTED BY THE DEVELOPER WITHIN 24 HOURS.
7. TEMPORARY EROSION CONTROL MEASURES SHALL BE COMPLETELY REMOVED BY THE DEVELOPER UPON ESTABLISHMENT OF PERMANENT CONTROL MEASURES.
8. ALL TEMPORARY SOIL EROSION CONTROL MEASURES MUST BE REMOVED FROM ROAD RIGHT-OF-WAY AREAS PRIOR TO ACCEPTANCE OF STREETS FOR ROUTINE MAINTENANCE.
9. VEGETATION MUST BE ACCEPTABLY ESTABLISHED PRIOR TO FINAL RELEASE OF THE CONSTRUCTION GUARANTEE BY THE DESIGNATED SOIL EROSION SEDIMENTATION CONTROL AGENT.

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE SEDIMENT CONTROL												
TEMP. CONTROL MEASURES												
STORM FACILITIES												
TEMP. CONSTRUCTION ROADS												
SITE CONSTRUCTION												
PERM. CONTROL MEASURES												
FINISH GRADING												

NOTE: TO BE COMPLETED BY CONTRACTOR

CONSTRUCTION SEQUENCE

1. IMPLEMENTATION OF TEMPORARY EROSION CONTROL MEASURES; SELECTIVE GRADING, DIVERSIONS AS REQUIRED IN FIELD, PROTECTION OF STORM SEWER FACILITIES.
2. EXCAVATION AND STOCKPILING OF SOIL.
3. PERIODIC MAINTENANCE OF AFFECTED EROSION CONTROL MEASURES.
4. PERMANENT MEASURES; FINAL GRADING, SEEDING AND MULCHING.

Know what's **below.**
Call before you dig.

PLAN SUBMITTALS AND CHANGES

BIDDING DOCUMENTS

DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: NOT TO SCALE

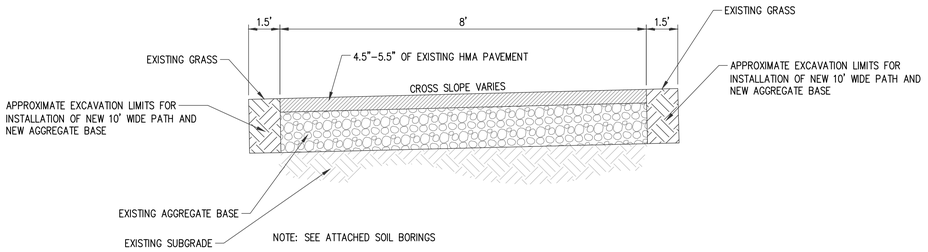
ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
SOIL EROSION KEY

REV:

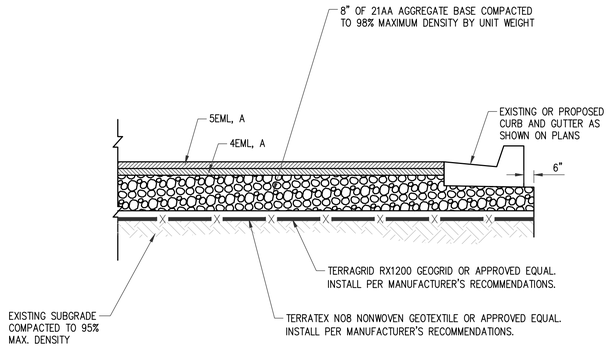
SHT# 5 OF 19
JOB No: 2400478

R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-SKEY.dwg
PLOTTED: 9/9/2024 4:20 PM



EXISTING HMA PATH CROSS SECTION

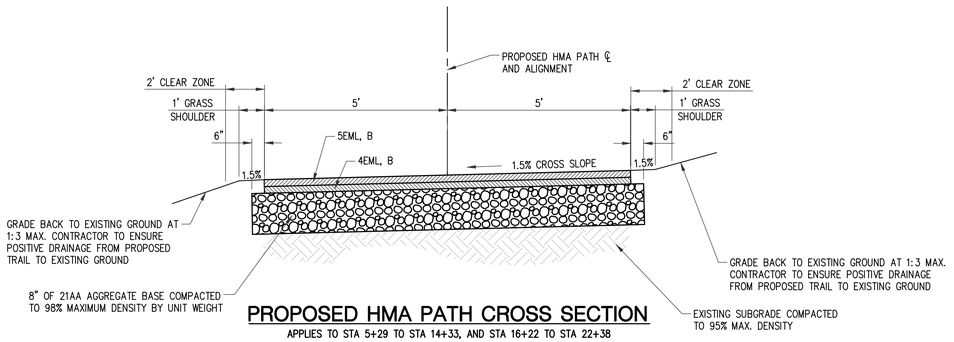
NOT TO SCALE



PROPOSED HMA DRIVE/PARKING LOT CROSS SECTION

NOT TO SCALE

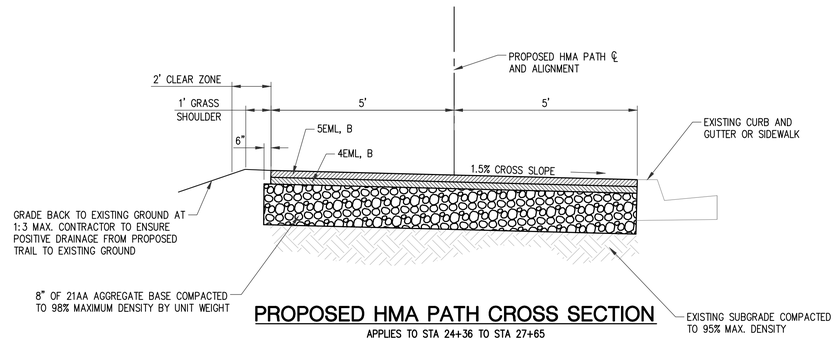
PROPOSED HMA DRIVE APPLICATION CHART					
IDENT NO	ITEM	HMA PAVEMENT	THICKNESS	PERFORMANCE GRADE	COMMENTS
5EML, A	HMA, 5EML	HMA, 5EML	1.5"	58-28	TOP COURSE
4EML, A	HMA, 4EML	HMA, 4EML	2.5"	58-28	LEVELING COURSE
RAP SHALL BE LIMITED TO TIER 1 DESIGN (17% MAX RAP BY BINDER WEIGHT)					
BOND COAT RATE SHALL BE 0.05 TO 0.15 GAL/SYD					
TOP COURSE AGG. WEAR INDEX (AWI) EL = 220 MIN					



PROPOSED HMA PATH CROSS SECTION

APPLIES TO STA 5+29 TO STA 14+33, AND STA 16+22 TO STA 22+38

NOT TO SCALE



PROPOSED HMA PATH CROSS SECTION

APPLIES TO STA 24+36 TO STA 27+65

NOT TO SCALE

PROPOSED HMA PATH APPLICATION CHART					
IDENT NO	ITEM	HMA PAVEMENT	THICKNESS	PERFORMANCE GRADE	COMMENTS
5EML, B	HMA, 5EML	HMA, 5EML	1.5"	58-28	TOP COURSE
4EML, B	HMA, 4EML	HMA, 4EML	1.5"	58-28	LEVELING COURSE
RAP SHALL BE LIMITED TO TIER 1 DESIGN (17% MAX RAP BY BINDER WEIGHT)					
BOND COAT RATE SHALL BE 0.05 TO 0.15 GAL/SYD					
TOP COURSE AGG. WEAR INDEX (AWI) EL = 220 MIN					

Know what's **below.**
Call before you dig.

PLAN SUBMITTALS AND CHANGES	
BIDDING DOCUMENTS	
DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: NOT TO SCALE

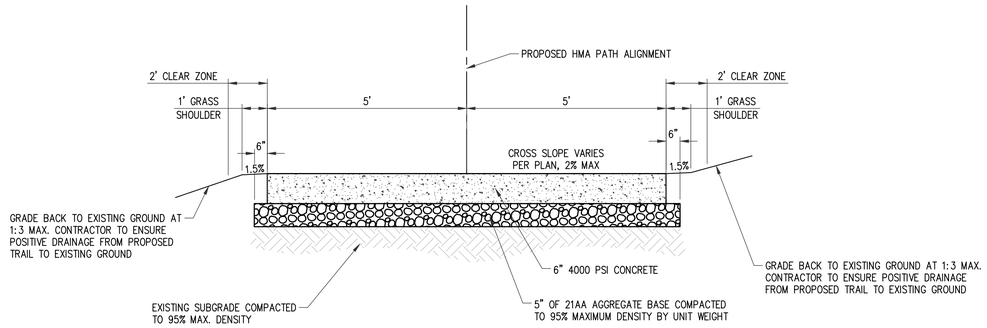
ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
DETAILS

REV:

SHT# 6 OF 19
JOB No: 2400478

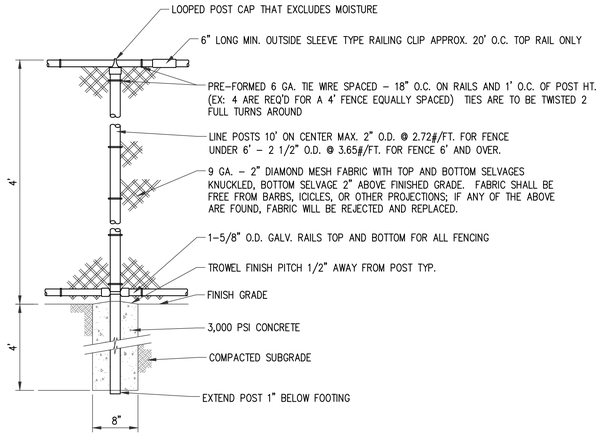
PLOTTED: 9/9/2024 4:20 PM
R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-DET.dwg



PROPOSED CONCRETE PATH CROSS SECTION

APPLIES TO STA 4+94 TO STA 5+29, AND STA 14+33 TO STA 16+22

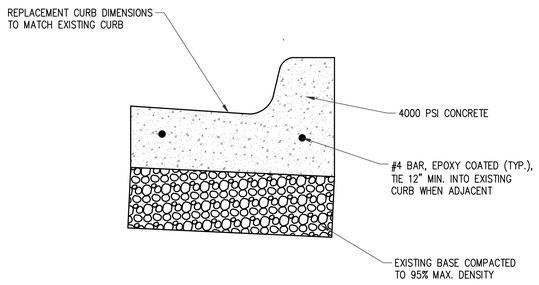
NOT TO SCALE



NOTES:
1. ALL POSTS AND RAILS TO BE SCHEDULE 40 OR APPROVED EQUAL
2. FENCE TO BE VINYL COATED
3. COLOR TO BE AS SELECTED BY OWNER

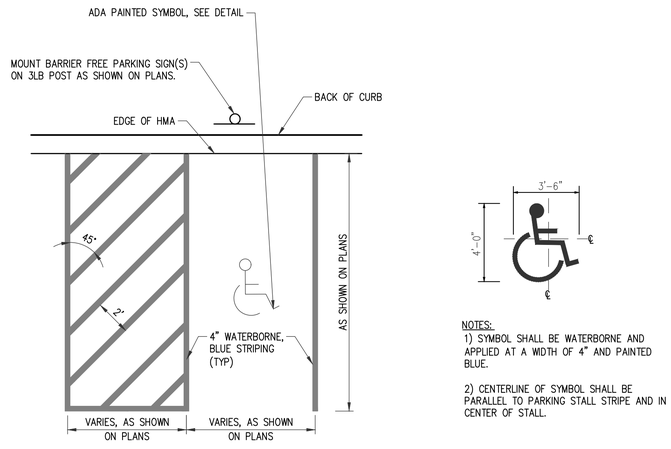
CHAIN LINK FENCE DETAIL

NOT TO SCALE



CURB REPLACEMENT DETAIL

NOT TO SCALE



NOTES:
1) SYMBOL SHALL BE WATERBORNE AND APPLIED AT A WIDTH OF 4" AND PAINTED BLUE.

2) CENTERLINE OF SYMBOL SHALL BE PARALLEL TO PARKING STALL STRIPE AND IN CENTER OF STALL.

BARRIER FREE PARKING SIGNAGE, SYMBOL, AND PAVEMENT MARKINGS

NOT TO SCALE

Know what's **below.**
Call before you dig.

PLAN SUBMITTALS AND CHANGES

BIDDING DOCUMENTS

DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

REV:

SHT# 7 OF 19

JOB No: 2400478

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: NOT TO SCALE

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
DETAILS

R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-DET.dwg
PLOTTED: 9/9/2024 4:20 PM

SURVEY NOTES:

VERTICAL DATUM IS NAVD88
HORIZONTAL DATUM IS MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE NAD83 (2011)
UNITS ARE INTERNATIONAL FEET.

BENCHMARK DATA TABLE

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM 5	287382	13295515	772.83	CUT "X" TOP SOUTHWESTERLY ANCHOR BOLT LIGHT POLE BASE IN MEDIAN OF FULLER ROAD, 4'± SOUTH OF BACK OF CURB, 32'± WEST OF GAS PIPELINE MARKER
BM 6	287678	13295991	769.27	TURN ARROW ON HYDRANT, 8'± WEST OF FENCE AROUND POOL, 57'± NORTH OF MAILBOX #1519

TRAVERSE POINT DATA TABLE

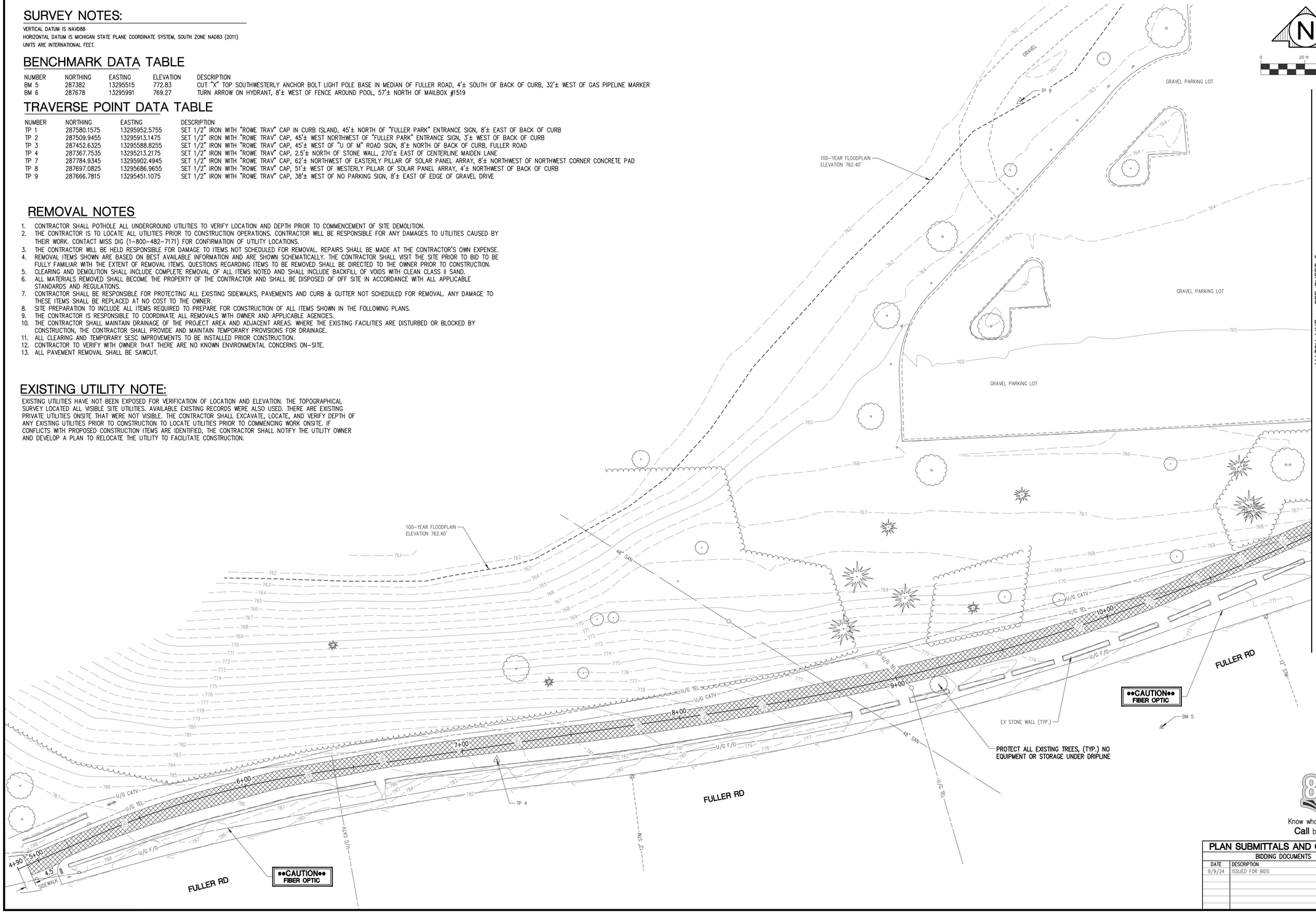
NUMBER	NORTHING	EASTING	DESCRIPTION
TP 1	287580.1575	13295952.5755	SET 1/2" IRON WITH "ROWE TRAV" CAP IN CURB ISLAND, 45'± NORTH OF "FULLER PARK" ENTRANCE SIGN, 8'± EAST OF BACK OF CURB
TP 2	287509.9455	13295913.1475	SET 1/2" IRON WITH "ROWE TRAV" CAP, 45'± WEST NORTHWEST OF "FULLER PARK" ENTRANCE SIGN, 3'± WEST OF BACK OF CURB
TP 3	287452.6325	13295588.8255	SET 1/2" IRON WITH "ROWE TRAV" CAP, 45'± WEST OF "U OF M" ROAD SIGN, 8'± NORTH OF BACK OF CURB, FULLER ROAD
TP 4	287367.7535	13295213.2175	SET 1/2" IRON WITH "ROWE TRAV" CAP, 2.5'± NORTH OF STONE WALL, 270'± EAST OF CENTERLINE MAIDEN LANE
TP 7	287784.9345	13295902.4945	SET 1/2" IRON WITH "ROWE TRAV" CAP, 62'± NORTHWEST OF EASTERLY PILLAR OF SOLAR PANEL ARRAY, 8'± NORTHWEST OF NORTHWEST CORNER CONCRETE PAD
TP 8	287697.0825	13295686.9655	SET 1/2" IRON WITH "ROWE TRAV" CAP, 51'± WEST OF WESTERLY PILLAR OF SOLAR PANEL ARRAY, 4'± NORTHWEST OF BACK OF CURB
TP 9	287666.7815	13295451.1075	SET 1/2" IRON WITH "ROWE TRAV" CAP, 38'± WEST OF NO PARKING SIGN, 8'± EAST OF EDGE OF GRAVEL DRIVE

REMOVAL NOTES

1. CONTRACTOR SHALL POTHOLE ALL UNDERGROUND UTILITIES TO VERIFY LOCATION AND DEPTH PRIOR TO COMMENCEMENT OF SITE DEMOLITION.
2. THE CONTRACTOR IS TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION OPERATIONS. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGES TO UTILITIES CAUSED BY THEIR WORK. CONTACT MISS DIG (1-800-482-7171) FOR CONFIRMATION OF UTILITY LOCATIONS.
3. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR DAMAGE TO ITEMS NOT SCHEDULED FOR REMOVAL. REPAIRS SHALL BE MADE AT THE CONTRACTOR'S OWN EXPENSE.
4. REMOVAL ITEMS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO BE FULLY FAMILIAR WITH THE EXTENT OF REMOVAL ITEMS. QUESTIONS REGARDING ITEMS TO BE REMOVED SHALL BE DIRECTED TO THE OWNER PRIOR TO CONSTRUCTION.
5. CLEARING AND DEMOLITION SHALL INCLUDE COMPLETE REMOVAL OF ALL ITEMS NOTED AND SHALL INCLUDE BACKFILL OF VOIDS WITH CLEAN CLASS II SAND.
6. ALL MATERIALS REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND REGULATIONS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SIDEWALKS, PAVEMENTS AND CURB & GUTTER NOT SCHEDULED FOR REMOVAL. ANY DAMAGE TO THESE ITEMS SHALL BE REPLACED AT NO COST TO THE OWNER.
8. SITE PREPARATION TO INCLUDE ALL ITEMS REQUIRED TO PREPARE FOR CONSTRUCTION OF ALL ITEMS SHOWN IN THE FOLLOWING PLANS.
9. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL REMOVALS WITH OWNER AND APPLICABLE AGENCIES.
10. THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE THE EXISTING FACILITIES ARE DISTURBED OR BLOCKED BY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROVISIONS FOR DRAINAGE.
11. ALL CLEARING AND TEMPORARY SESC IMPROVEMENTS TO BE INSTALLED PRIOR CONSTRUCTION.
12. CONTRACTOR TO VERIFY WITH OWNER THAT THERE ARE NO KNOWN ENVIRONMENTAL CONCERNS ON-SITE.
13. ALL PAVEMENT REMOVAL SHALL BE SAWCUT.

EXISTING UTILITY NOTE:

EXISTING UTILITIES HAVE NOT BEEN EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION. THE TOPOGRAPHICAL SURVEY LOCATED ALL VISIBLE SITE UTILITIES. AVAILABLE EXISTING RECORDS WERE ALSO USED. THERE ARE EXISTING PRIVATE UTILITIES ONSITE THAT WERE NOT VISIBLE. THE CONTRACTOR SHALL EXCAVATE, LOCATE, AND VERIFY DEPTH OF ANY EXISTING UTILITIES PRIOR TO CONSTRUCTION TO LOCATE UTILITIES PRIOR TO COMMENCING WORK ONSITE. IF CONFLICTS WITH PROPOSED CONSTRUCTION ITEMS ARE IDENTIFIED, THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNER AND DEVELOP A PLAN TO RELOCATE THE UTILITY TO FACILITATE CONSTRUCTION.



Know what's **below.**
Call before you dig.

PLAN SUBMITTALS AND CHANGES

BIDDING DOCUMENTS

DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: 1" = 20'

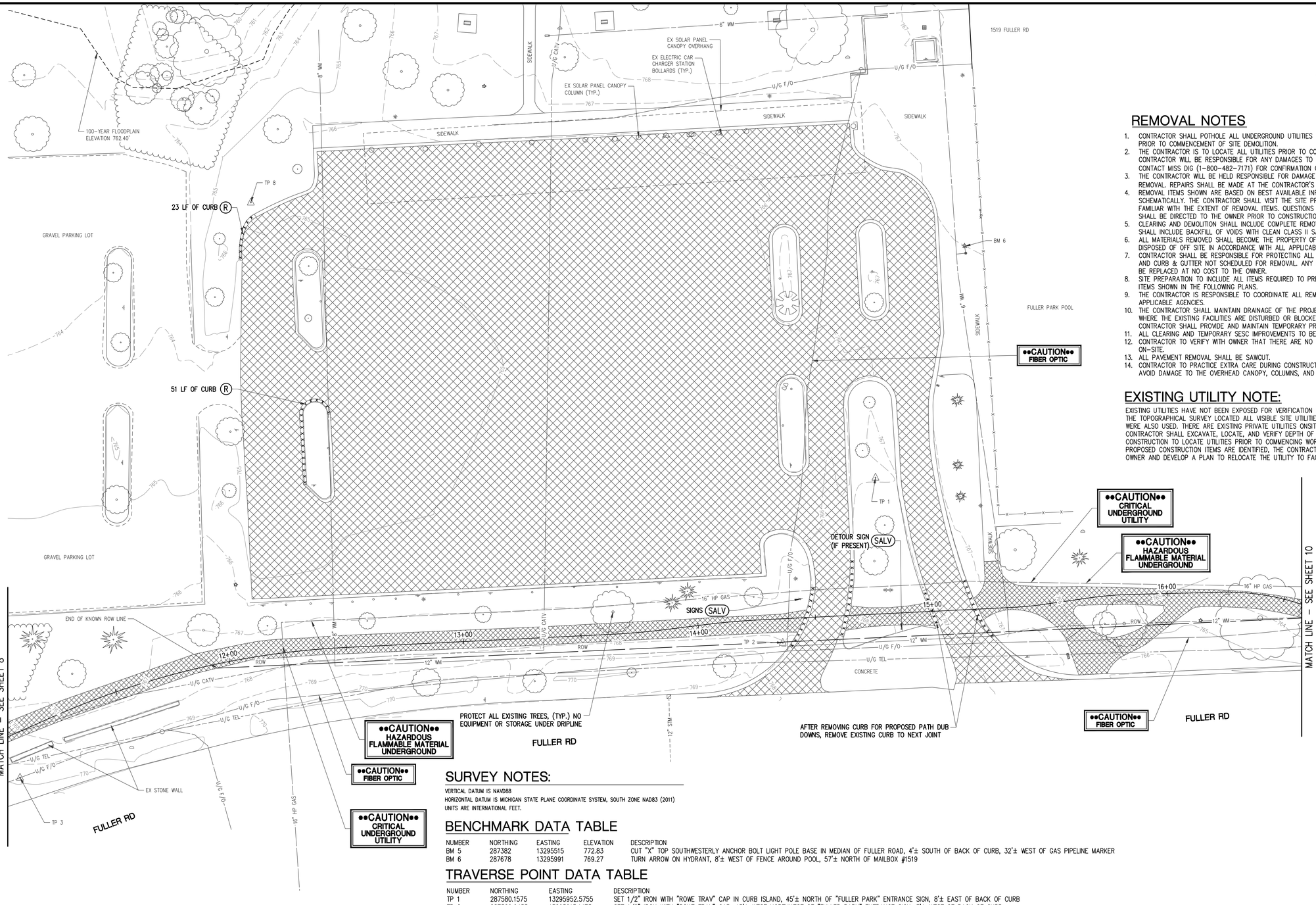
ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
EXISTING CONDITIONS AND REMOVALS

REV:

SHT# 8 OF 19
JOB No: 2400478

PLOTTED: 9/9/2024 4:20 PM
R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-REM.dwg



REMOVAL NOTES

1. CONTRACTOR SHALL POTHOLE ALL UNDERGROUND UTILITIES TO VERIFY LOCATION AND DEPTH PRIOR TO COMMENCEMENT OF SITE DEMOLITION.
2. THE CONTRACTOR IS TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION OPERATIONS. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGES TO UTILITIES CAUSED BY THEIR WORK. CONTACT MISS DIG (1-800-482-7171) FOR CONFIRMATION OF UTILITY LOCATIONS.
3. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR DAMAGE TO ITEMS NOT SCHEDULED FOR REMOVAL. REPAIRS SHALL BE MADE AT THE CONTRACTOR'S OWN EXPENSE.
4. REMOVAL ITEMS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO BE FULLY FAMILIAR WITH THE EXTENT OF REMOVAL ITEMS. QUESTIONS REGARDING ITEMS TO BE REMOVED SHALL BE DIRECTED TO THE OWNER PRIOR TO CONSTRUCTION.
5. CLEARING AND DEMOLITION SHALL INCLUDE COMPLETE REMOVAL OF ALL ITEMS NOTED AND SHALL INCLUDE BACKFILL OF VOIDS WITH CLEAN CLASS II SAND.
6. ALL MATERIALS REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND REGULATIONS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SIDEWALKS, PAVEMENTS AND CURB & GUTTER NOT SCHEDULED FOR REMOVAL. ANY DAMAGE TO THESE ITEMS SHALL BE REPLACED AT NO COST TO THE OWNER.
8. SITE PREPARATION TO INCLUDE ALL ITEMS REQUIRED TO PREPARE FOR CONSTRUCTION OF ALL ITEMS SHOWN IN THE FOLLOWING PLANS.
9. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL REMOVALS WITH OWNER AND APPLICABLE AGENCIES.
10. THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE THE EXISTING FACILITIES ARE DISTURBED OR BLOCKED BY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROVISIONS FOR DRAINAGE.
11. ALL CLEARING AND TEMPORARY SESC IMPROVEMENTS TO BE INSTALLED PRIOR CONSTRUCTION.
12. CONTRACTOR TO VERIFY WITH OWNER THAT THERE ARE NO KNOWN ENVIRONMENTAL CONCERNS ON-SITE.
13. ALL PAVEMENT REMOVAL SHALL BE SAWCUT.
14. CONTRACTOR TO PRACTICE EXTRA CARE DURING CONSTRUCTION IN NORTH SIDE OF LOT TO AVOID DAMAGE TO THE OVERHEAD CANOPY, COLUMNS, AND CHARGING STATIONS.

EXISTING UTILITY NOTE:

EXISTING UTILITIES HAVE NOT BEEN EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION. THE TOPOGRAPHICAL SURVEY LOCATED ALL VISIBLE SITE UTILITIES. AVAILABLE EXISTING RECORDS WERE ALSO USED. THERE ARE EXISTING PRIVATE UTILITIES ONSITE THAT WERE NOT VISIBLE. THE CONTRACTOR SHALL EXCAVATE, LOCATE, AND VERIFY DEPTH OF ANY EXISTING UTILITIES PRIOR TO CONSTRUCTION TO LOCATE UTILITIES PRIOR TO COMMENCING WORK ONSITE. IF CONFLICTS WITH PROPOSED CONSTRUCTION ITEMS ARE IDENTIFIED, THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNER AND DEVELOP A PLAN TO RELOCATE THE UTILITY TO FACILITATE CONSTRUCTION.

SURVEY NOTES:

VERTICAL DATUM IS NAVD88
HORIZONTAL DATUM IS MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE NAD83 (2011)
UNITS ARE INTERNATIONAL FEET.

BENCHMARK DATA TABLE

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM 5	287382	13295515	772.83	CUT "X" TOP SOUTHWESTERLY ANCHOR BOLT LIGHT POLE BASE IN MEDIAN OF FULLER ROAD, 4'± SOUTH OF BACK OF CURB, 32'± WEST OF GAS PIPELINE MARKER
BM 6	287678	13295991	769.27	TURN ARROW ON HYDRANT, 8'± WEST OF FENCE AROUND POOL, 57'± NORTH OF MAILBOX #1519

TRAVERSE POINT DATA TABLE

NUMBER	NORTHING	EASTING	DESCRIPTION
TP 1	287580.1575	13295952.5755	SET 1/2" IRON WITH "ROWE TRAV" CAP IN CURB ISLAND, 45'± NORTH OF "FULLER PARK" ENTRANCE SIGN, 8'± EAST OF BACK OF CURB
TP 2	287509.9455	13295913.1475	SET 1/2" IRON WITH "ROWE TRAV" CAP, 45'± WEST NORTHWEST OF "FULLER PARK" ENTRANCE SIGN, 3'± WEST OF BACK OF CURB
TP 3	287452.6325	13295588.8255	SET 1/2" IRON WITH "ROWE TRAV" CAP, 45'± WEST OF "U OF M" ROAD SIGN, 8'± NORTH OF BACK OF CURB, FULLER ROAD
TP 4	287367.7535	13295213.2175	SET 1/2" IRON WITH "ROWE TRAV" CAP, 2.5'± NORTH OF STONE WALL, 270'± EAST OF CENTERLINE MAIDEN LANE
TP 7	287784.9345	13295902.4945	SET 1/2" IRON WITH "ROWE TRAV" CAP, 62'± NORTHWEST OF EASTERLY PILLAR OF SOLAR PANEL ARRAY, 8'± NORTHWEST OF NORTHWEST CORNER CONCRETE PAD
TP 8	287697.0825	13295686.9655	SET 1/2" IRON WITH "ROWE TRAV" CAP, 51'± WEST OF WESTERLY PILLAR OF SOLAR PANEL ARRAY, 4'± NORTHWEST OF BACK OF CURB
TP 9	287666.7815	13295451.1075	SET 1/2" IRON WITH "ROWE TRAV" CAP, 38'± WEST OF NO PARKING SIGN, 8'± EAST OF EDGE OF GRAVEL DRIVE

Know what's **below.**
Call before you dig.

PLAN SUBMITTALS AND CHANGES

BIDDING DOCUMENTS

DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: 1" = 20'

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
EXISTING CONDITIONS AND REMOVALS

REV:

SHT# 9 OF 19
JOB No: 2400478

R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-REM.dwg
PLOTTED: 9/9/2024 4:20 PM

SURVEY NOTES:

VERTICAL DATUM IS NAVD88
HORIZONTAL DATUM IS MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE NAD83 (2011)
UNITS ARE INTERNATIONAL FEET.

BENCHMARK DATA TABLE

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM 5	287382	13295515	772.83	CUT "X" TOP SOUTHWESTERLY ANCHOR BOLT LIGHT POLE BASE IN MEDIAN OF FULLER ROAD, 4'± SOUTH OF BACK OF CURB, 32'± WEST OF GAS PIPELINE MARKER
BM 6	287678	13295991	769.27	TURN ARROW ON HYDRANT, 8'± WEST OF FENCE AROUND POOL, 57'± NORTH OF MAILBOX #1519

TRAVERSE POINT DATA TABLE

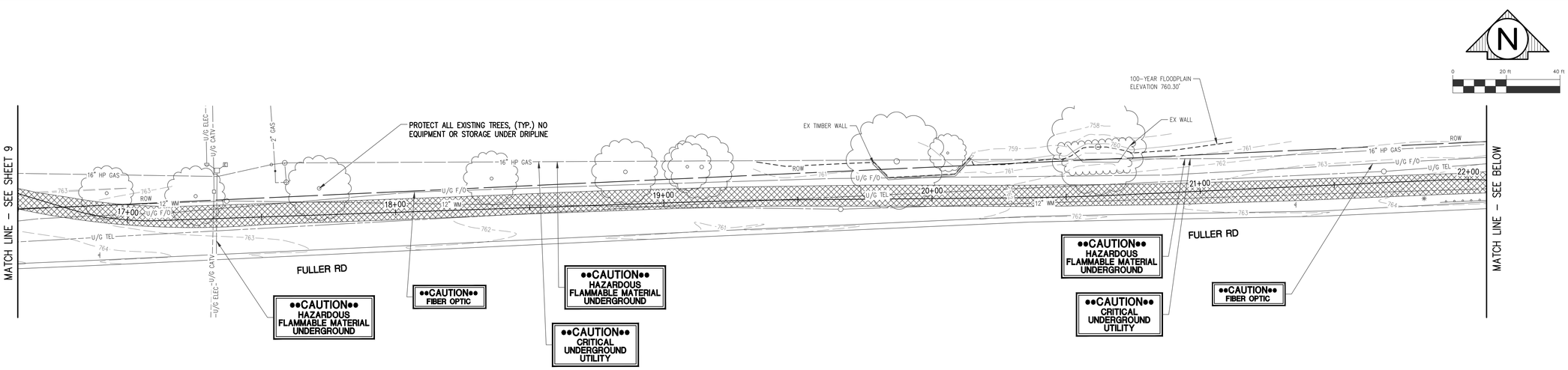
NUMBER	NORTHING	EASTING	DESCRIPTION
TP 1	287580.1575	13295952.5755	SET 1/2" IRON WITH "ROWE TRAV" CAP IN CURB ISLAND, 45'± NORTH OF "FULLER PARK" ENTRANCE SIGN, 8'± EAST OF BACK OF CURB
TP 2	287509.9455	13295913.1475	SET 1/2" IRON WITH "ROWE TRAV" CAP, 45'± WEST NORTHWEST OF "FULLER PARK" ENTRANCE SIGN, 3'± WEST OF BACK OF CURB
TP 3	287452.6325	13295588.8255	SET 1/2" IRON WITH "ROWE TRAV" CAP, 45'± WEST OF "U OF M" ROAD SIGN, 8'± NORTH OF BACK OF CURB, FULLER ROAD
TP 4	287367.7535	13295213.2175	SET 1/2" IRON WITH "ROWE TRAV" CAP, 2.5'± NORTH OF STONE WALL, 270'± EAST OF CENTERLINE MAIDEN LANE
TP 7	287784.9345	13295902.4945	SET 1/2" IRON WITH "ROWE TRAV" CAP, 62'± NORTHWEST OF EASTERLY PILLAR OF SOLAR PANEL ARRAY, 8'± NORTHWEST OF NORTHWEST CORNER CONCRETE PAD
TP 8	287697.0825	13295686.9655	SET 1/2" IRON WITH "ROWE TRAV" CAP, 51'± WEST OF WESTERLY PILLAR OF SOLAR PANEL ARRAY, 4'± NORTHWEST OF BACK OF CURB
TP 9	287666.7815	13295451.1075	SET 1/2" IRON WITH "ROWE TRAV" CAP, 38'± WEST OF NO PARKING SIGN, 8'± EAST OF EDGE OF GRAVEL DRIVE

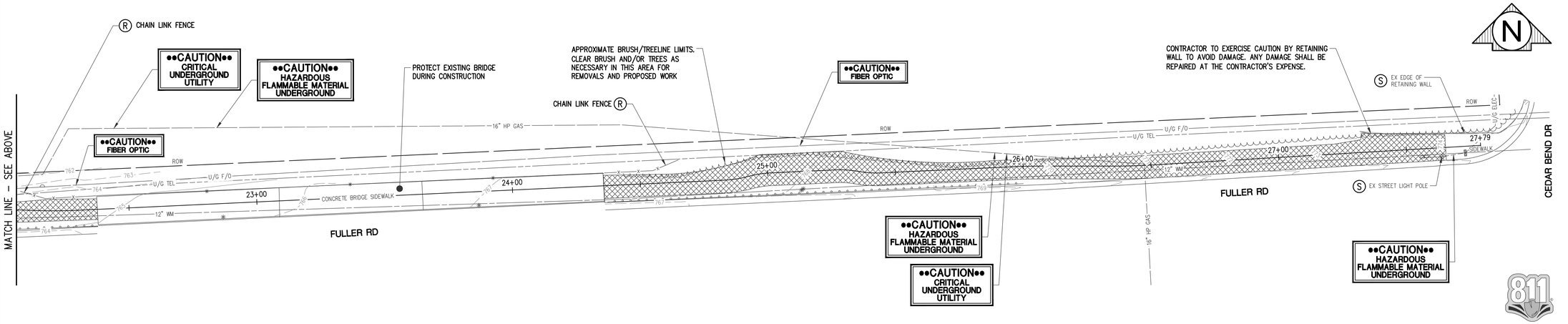
REMOVAL NOTES

1. CONTRACTOR SHALL POTHOLE ALL UNDERGROUND UTILITIES TO VERIFY LOCATION AND DEPTH PRIOR TO COMMENCEMENT OF SITE DEMOLITION.
2. THE CONTRACTOR IS TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION OPERATIONS. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGES TO UTILITIES CAUSED BY THEIR WORK. CONTACT MISS DIG (1-800-482-7171) FOR CONFIRMATION OF UTILITY LOCATIONS.
3. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR DAMAGE TO ITEMS NOT SCHEDULED FOR REMOVAL. REPAIRS SHALL BE MADE AT THE CONTRACTOR'S OWN EXPENSE.
4. REMOVAL ITEMS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO BE FULLY FAMILIAR WITH THE EXTENT OF REMOVAL ITEMS. QUESTIONS REGARDING ITEMS TO BE REMOVED SHALL BE DIRECTED TO THE OWNER PRIOR TO CONSTRUCTION.
5. CLEARING AND DEMOLITION SHALL INCLUDE COMPLETE REMOVAL OF ALL ITEMS NOTED AND SHALL INCLUDE BACKFILL OF VOIDS WITH CLEAN CLASS II SAND.
6. ALL MATERIALS REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND REGULATIONS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SIDEWALKS, PAVEMENTS AND CURB & GUTTER NOT SCHEDULED FOR REMOVAL. ANY DAMAGE TO THESE ITEMS SHALL BE REPLACED AT NO COST TO THE OWNER.
8. SITE PREPARATION TO INCLUDE ALL ITEMS REQUIRED TO PREPARE FOR CONSTRUCTION OF ALL ITEMS SHOWN IN THE FOLLOWING PLANS.
9. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL REMOVALS WITH OWNER AND APPLICABLE AGENCIES.
10. THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE THE EXISTING FACILITIES ARE DISTURBED OR BLOCKED BY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROVISIONS FOR DRAINAGE.
11. ALL CLEARING AND TEMPORARY SESC IMPROVEMENTS TO BE INSTALLED PRIOR CONSTRUCTION.
12. CONTRACTOR TO VERIFY WITH OWNER THAT THERE ARE NO KNOWN ENVIRONMENTAL CONCERNS ON-SITE.
13. ALL PAVEMENT REMOVAL SHALL BE SAWCUT.

EXISTING UTILITY NOTE:

EXISTING UTILITIES HAVE NOT BEEN EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION. THE TOPOGRAPHICAL SURVEY LOCATED ALL VISIBLE SITE UTILITIES. AVAILABLE EXISTING RECORDS WERE ALSO USED. THERE ARE EXISTING PRIVATE UTILITIES ONSITE THAT WERE NOT VISIBLE. THE CONTRACTOR SHALL EXCAVATE, LOCATE, AND VERIFY DEPTH OF ANY EXISTING UTILITIES PRIOR TO CONSTRUCTION TO LOCATE UTILITIES PRIOR TO COMMENCING WORK ONSITE. IF CONFLICTS WITH PROPOSED CONSTRUCTION ITEMS ARE IDENTIFIED, THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNER AND DEVELOP A PLAN TO RELOCATE THE UTILITY TO FACILITATE CONSTRUCTION.





Know what's **below.**
Call before you dig.

PLAN SUBMITTALS AND CHANGES

BIDDING DOCUMENTS

DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: 1" = 20'

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
EXISTING CONDITIONS AND REMOVALS

REV:

SHT# 10 OF 19
JOB No: 2400478

PLOTTED: 9/9/2024 4:20 PM
R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-REM.dwg

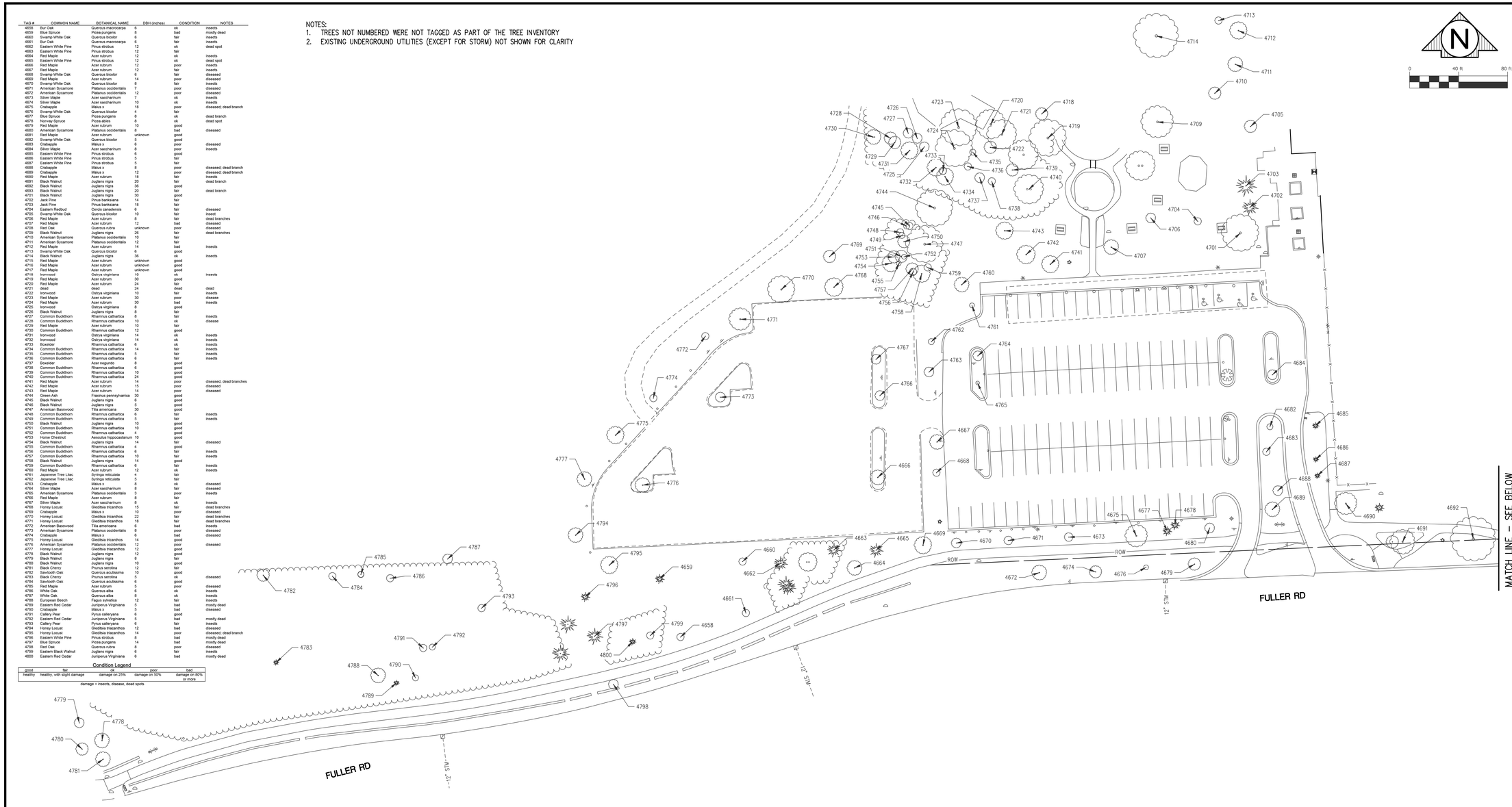
TAG #	COMMON NAME	BOTANICAL NAME	DBH (inches)	CONDITION	NOTES
4658	Bur Oak	Quercus macrocarpa	6	ok	insects
4659	Blue Spruce	Picea pungens	8	bad	mostly dead
4660	Swamp White Oak	Quercus bicolor	6	fair	insects
4661	Bur Oak	Quercus macrocarpa	6	fair	insects
4662	Eastern White Pine	Pinus strobus	12	ok	dead spot
4663	Eastern White Pine	Pinus strobus	12	fair	
4664	Red Maple	Acer rubrum	12	ok	insects
4665	Eastern White Pine	Pinus strobus	12	ok	dead spot
4666	Red Maple	Acer rubrum	12	poor	insects
4667	Red Maple	Acer rubrum	12	fair	insects
4668	Swamp White Oak	Quercus bicolor	6	fair	diseased
4669	Red Maple	Acer rubrum	14	poor	diseased
4670	Swamp White Oak	Quercus bicolor	8	fair	insects
4671	American Sycamore	Platanus occidentalis	7	poor	diseased
4672	American Sycamore	Platanus occidentalis	12	poor	diseased
4673	Silver Maple	Acer saccharinum	7	ok	insects
4674	Silver Maple	Acer saccharinum	10	ok	insects
4675	Crabapple	Malus x	18	poor	diseased; dead branch
4676	Swamp White Oak	Quercus bicolor	4	fair	
4677	Blue Spruce	Picea pungens	8	ok	dead branch
4678	Norway Spruce	Picea abies	8	ok	dead spot
4679	Red Maple	Acer rubrum	10	good	
4680	American Sycamore	Platanus occidentalis	8	bad	diseased
4681	Red Maple	Acer rubrum	unknown	good	
4682	Swamp White Oak	Quercus bicolor	5	good	
4683	Crabapple	Malus x	6	poor	diseased
4684	Silver Maple	Acer saccharinum	8	poor	insects
4685	Eastern White Pine	Pinus strobus	6	good	
4686	Eastern White Pine	Pinus strobus	5	fair	
4687	Eastern White Pine	Pinus strobus	5	fair	
4688	Crabapple	Malus x	8	poor	diseased; dead branch
4689	Crabapple	Malus x	12	poor	diseased; dead branch
4690	Red Maple	Acer rubrum	12	fair	insects
4691	Black Walnut	Juglans nigra	30	good	dead branch
4692	Black Walnut	Juglans nigra	36	good	
4693	Black Walnut	Juglans nigra	20	fair	dead branch
4701	Black Walnut	Juglans nigra	30	good	
4702	Jack Pine	Pinus banksiana	14	fair	
4703	Jack Pine	Pinus banksiana	18	fair	
4704	Eastern Redbud	Cercis canadensis	6	fair	diseased
4705	Swamp White Oak	Quercus bicolor	10	fair	insect
4706	Red Maple	Acer rubrum	8	fair	dead branches
4707	Red Maple	Acer rubrum	12	bad	diseased
4708	Red Oak	Quercus rubra	unknown	poor	diseased
4709	Black Walnut	Juglans nigra	26	fair	dead branches
4710	American Sycamore	Platanus occidentalis	10	fair	
4711	American Sycamore	Platanus occidentalis	12	fair	
4712	Red Maple	Acer rubrum	14	bad	insects
4713	Swamp White Oak	Quercus bicolor	6	good	
4714	Black Walnut	Juglans nigra	36	ok	insects
4715	Red Maple	Acer rubrum	unknown	good	
4716	Red Maple	Acer rubrum	unknown	good	
4717	Red Maple	Acer rubrum	unknown	good	
4718	Ironwood	Ostrya virginiana	10	ok	insects
4719	Red Maple	Acer rubrum	30	good	
4720	Red Maple	Acer rubrum	24	fair	
4721	dead	dead	24	dead	dead
4722	Ironwood	Ostrya virginiana	10	fair	insects
4723	Red Maple	Acer rubrum	30	poor	disease
4724	Red Maple	Acer rubrum	30	bad	insects
4725	Ironwood	Ostrya virginiana	8	good	
4726	Black Walnut	Juglans nigra	8	fair	
4727	Common Buckthorn	Rhamnus cathartica	8	fair	insects
4728	Common Buckthorn	Rhamnus cathartica	10	ok	disease
4729	Red Maple	Acer rubrum	10	fair	
4730	Common Buckthorn	Rhamnus cathartica	12	good	
4731	Ironwood	Ostrya virginiana	14	ok	insects
4732	Ironwood	Ostrya virginiana	14	ok	insects
4733	Boxelder	Rhamnus cathartica	6	ok	insects
4734	Common Buckthorn	Rhamnus cathartica	14	fair	insects
4735	Common Buckthorn	Rhamnus cathartica	6	fair	insects
4736	Common Buckthorn	Rhamnus cathartica	6	fair	insects
4737	Boxelder	Acer negundo	8	good	
4738	Common Buckthorn	Rhamnus cathartica	6	good	
4739	Common Buckthorn	Rhamnus cathartica	10	good	
4740	Common Buckthorn	Rhamnus cathartica	24	good	
4741	Red Maple	Acer rubrum	14	poor	diseased, dead branches
4742	Red Maple	Acer rubrum	15	poor	diseased
4743	Red Maple	Acer rubrum	14	poor	diseased
4744	Green Ash	Fraxinus pennsylvanica	30	good	
4745	Black Walnut	Juglans nigra	6	good	
4746	Black Walnut	Juglans nigra	5	good	
4747	American Basswood	Tilia americana	30	good	
4748	Common Buckthorn	Rhamnus cathartica	6	fair	insects
4749	Common Buckthorn	Rhamnus cathartica	5	fair	insects
4750	Black Walnut	Juglans nigra	10	good	
4751	Common Buckthorn	Rhamnus cathartica	10	good	
4752	Common Buckthorn	Rhamnus cathartica	4	good	
4753	Horse Chestnut	Aesculus hippocastanum	10	good	
4754	Black Walnut	Juglans nigra	14	fair	diseased
4755	Common Buckthorn	Rhamnus cathartica	4	good	
4756	Common Buckthorn	Rhamnus cathartica	6	fair	insects
4757	Common Buckthorn	Rhamnus cathartica	10	fair	insects
4758	Black Walnut	Juglans nigra	14	good	
4759	Common Buckthorn	Rhamnus cathartica	6	fair	insects
4760	Red Maple	Acer rubrum	12	ok	insects
4761	Japanese Tree Lilac	Syringa reticulata	4	fair	
4762	Japanese Tree Lilac	Syringa reticulata	5	fair	
4763	Crabapple	Malus x	8	ok	diseased
4764	Silver Maple	Acer saccharinum	8	fair	diseased
4765	American Sycamore	Platanus occidentalis	3	poor	insects
4766	Red Maple	Acer rubrum	8	fair	
4767	Silver Maple	Acer saccharinum	8	ok	insects
4768	Honey Locust	Gleditsia triacanthos	15	fair	dead branches
4769	Crabapple	Malus x	10	poor	diseased
4770	Honey Locust	Gleditsia triacanthos	22	fair	dead branches
4771	Honey Locust	Gleditsia triacanthos	18	fair	dead branches
4772	American Basswood	Tilia americana	6	bad	insects
4773	American Sycamore	Platanus occidentalis	8	poor	diseased
4774	Crabapple	Malus x	6	poor	diseased
4775	Honey Locust	Gleditsia triacanthos	14	good	
4776	American Sycamore	Platanus occidentalis	12	poor	diseased
4777	Honey Locust	Gleditsia triacanthos	12	good	
4778	Black Walnut	Juglans nigra	12	good	
4779	Black Walnut	Juglans nigra	8	fair	
4780	Black Walnut	Juglans nigra	10	good	
4781	Black Cherry	Prunus serotina	12	fair	
4782	Sawtooth Oak	Quercus acutissima	10	good	
4783	Black Cherry	Prunus serotina	5	ok	diseased
4784	Sawtooth Oak	Quercus acutissima	6	good	
4785	Red Maple	Acer rubrum	5	poor	diseased
4786	White Oak	Quercus alba	6	ok	insects
4787	White Oak	Quercus alba	8	ok	insects
4788	European Beech	Fagus sylvatica	12	fair	insects
4789	Eastern Red Cedar	Juniperus Virginiana	5	bad	mostly dead
4790	Crabapple	Malus x	5	bad	diseased
4791	Callery Pear	Pyrus calleryana	6	good	
4792	Eastern Red Cedar	Juniperus Virginiana	5	bad	mostly dead
4793	Callery Pear	Pyrus calleryana	6	fair	insects
4794	Honey Locust	Gleditsia triacanthos	12	bad	diseased
4795	Honey Locust	Gleditsia triacanthos	14	poor	diseased; dead branch
4796	Eastern White Pine	Pinus strobus	8	bad	mostly dead
4797	Blue Spruce	Picea pungens	14	bad	mostly dead
4798	Red Oak	Quercus rubra	8	poor	diseased
4799	Eastern Black Walnut	Juglans nigra	6	fair	insects
4800	Eastern Red Cedar	Juniperus Virginiana	6	bad	mostly dead

Condition Legend

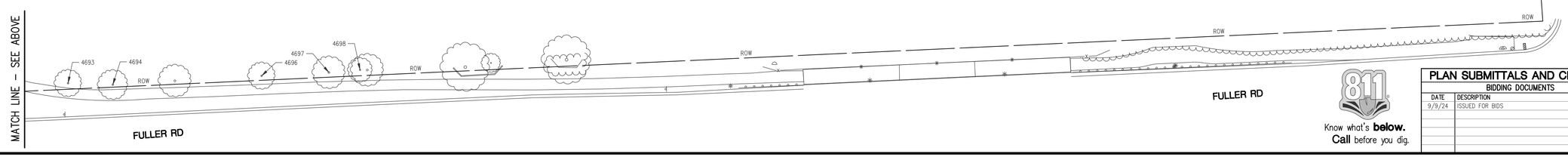
good	fair	ok	poor	bad
healthy	healthy, with slight damage	damage on 25%	damage on 50%	damage on 80% or more

damage = insects, disease, dead spots

NOTES:
1. TREES NOT NUMBERED WERE NOT TAGGED AS PART OF THE TREE INVENTORY
2. EXISTING UNDERGROUND UTILITIES (EXCEPT FOR STORM) NOT SHOWN FOR CLARITY



NOTE: EXISTING UNDERGROUND UTILITIES (EXCEPT FOR STORM) NOT SHOWN FOR CLARITY



Know what's **below.** **Call** before you dig.

PLAN SUBMITTALS AND CHANGES	
BIDDING DOCUMENTS	
DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

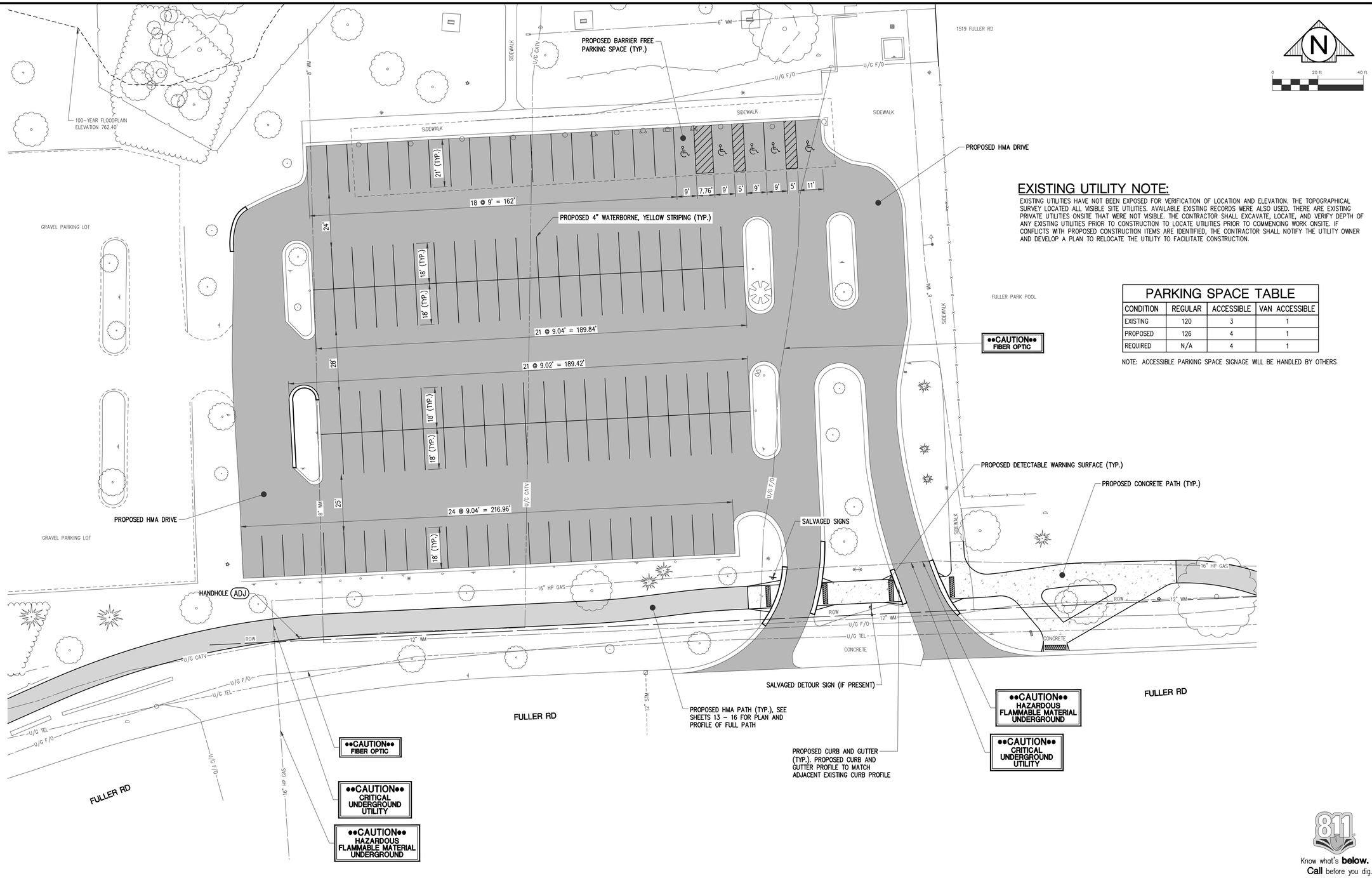
PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: 1" = 40'

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
TREE INVENTORY

REV:

SHT# 11 OF 19
JOB No: 2400478

R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-TREE INVENTORY.dwg
PLOTTED: 9/9/2024 4:20 PM



EXISTING UTILITY NOTE:

EXISTING UTILITIES HAVE NOT BEEN EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION. THE TOPOGRAPHICAL SURVEY LOCATED ALL VISIBLE SITE UTILITIES. AVAILABLE EXISTING RECORDS WERE ALSO USED. THERE ARE EXISTING PRIVATE UTILITIES ONSITE THAT WERE NOT VISIBLE. THE CONTRACTOR SHALL EXCAVATE, LOCATE, AND VERIFY DEPTH OF ANY EXISTING UTILITIES PRIOR TO CONSTRUCTION TO LOCATE UTILITIES PRIOR TO COMMENCING WORK ONSITE. IF CONFLICTS WITH PROPOSED CONSTRUCTION ITEMS ARE IDENTIFIED, THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNER AND DEVELOP A PLAN TO RELOCATE THE UTILITY TO FACILITATE CONSTRUCTION.

PARKING SPACE TABLE

CONDITION	REGULAR	ACCESSIBLE	VAN ACCESSIBLE
EXISTING	120	3	1
PROPOSED	126	4	1
REQUIRED	N/A	4	1

NOTE: ACCESSIBLE PARKING SPACE SIGNAGE WILL BE HANDLED BY OTHERS

Know what's **below.** **Call** before you dig.

PLAN SUBMITTALS AND CHANGES

BIDDING DOCUMENTS

DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

REV:

SHT# 12 OF 19

JOB No: 2400478

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: 1" = 20'

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
PARKING LOT SITE PLAN

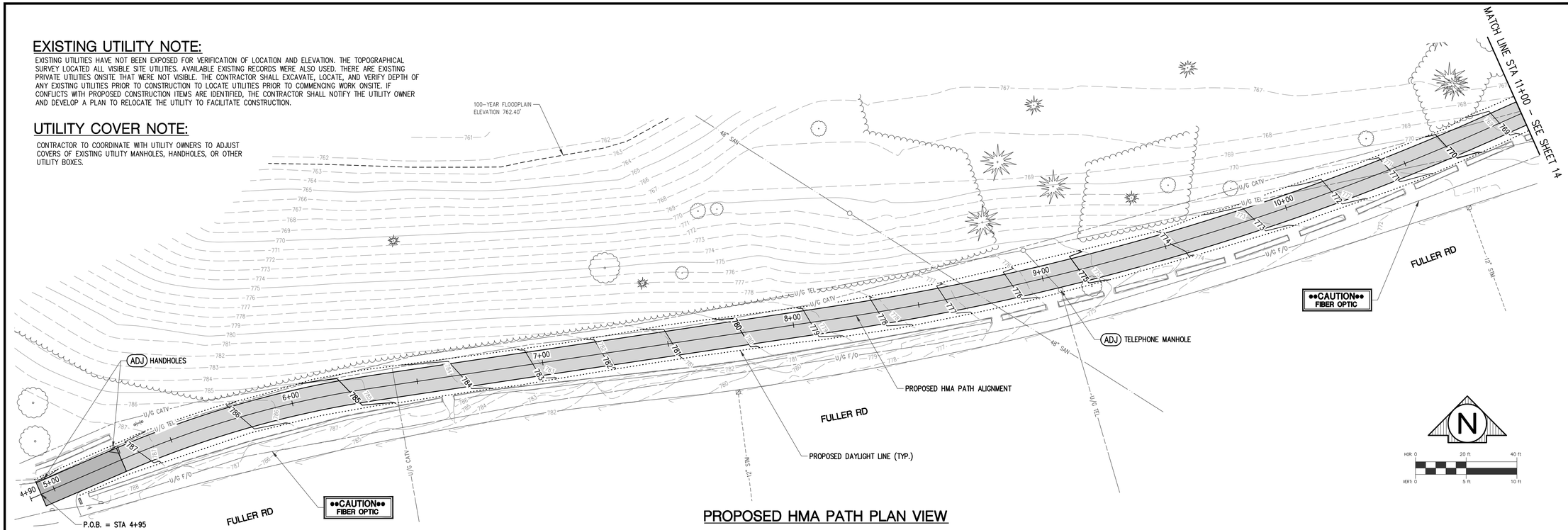
R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-SITE.dwg
PLOTTED: 9/9/2024 4:20 PM

EXISTING UTILITY NOTE:

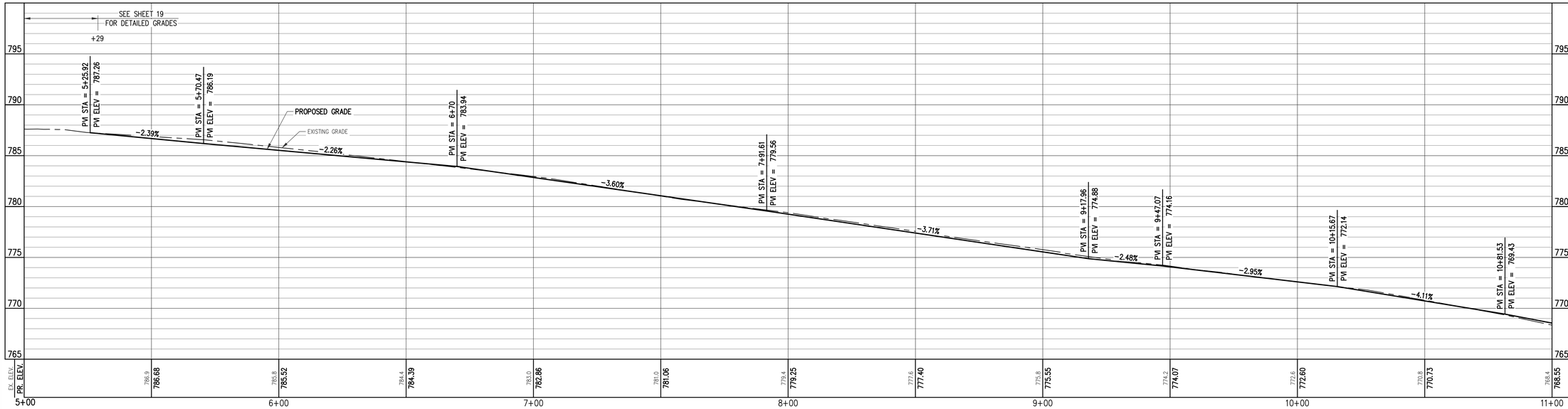
EXISTING UTILITIES HAVE NOT BEEN EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION. THE TOPOGRAPHICAL SURVEY LOCATED ALL VISIBLE SITE UTILITIES. AVAILABLE EXISTING RECORDS WERE ALSO USED. THERE ARE EXISTING PRIVATE UTILITIES ONSITE THAT WERE NOT VISIBLE. THE CONTRACTOR SHALL EXCAVATE, LOCATE, AND VERIFY DEPTH OF ANY EXISTING UTILITIES PRIOR TO CONSTRUCTION TO LOCATE UTILITIES PRIOR TO COMMENCING WORK ONSITE. IF CONFLICTS WITH PROPOSED CONSTRUCTION ITEMS ARE IDENTIFIED, THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNER AND DEVELOP A PLAN TO RELOCATE THE UTILITY TO FACILITATE CONSTRUCTION.

UTILITY COVER NOTE:

CONTRACTOR TO COORDINATE WITH UTILITY OWNERS TO ADJUST COVERS OF EXISTING UTILITY MANHOLES, HANDHOLES, OR OTHER UTILITY BOXES.



PROPOSED HMA PATH PLAN VIEW



PROPOSED HMA PATH PROFILE VIEW
STA 5+00 - 11+00

811 Know what's **below.** **Call** before you dig.

PLAN SUBMITTALS AND CHANGES	
BIDDING DOCUMENTS	
DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: 1"=20' HORZ; 1"=5' VERT

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
PROPOSED PATH PLAN AND PROFILE

REV:

SHT# 13 OF 19

JOB No: 2400478

R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-PLAN AND PROFILE.dwg

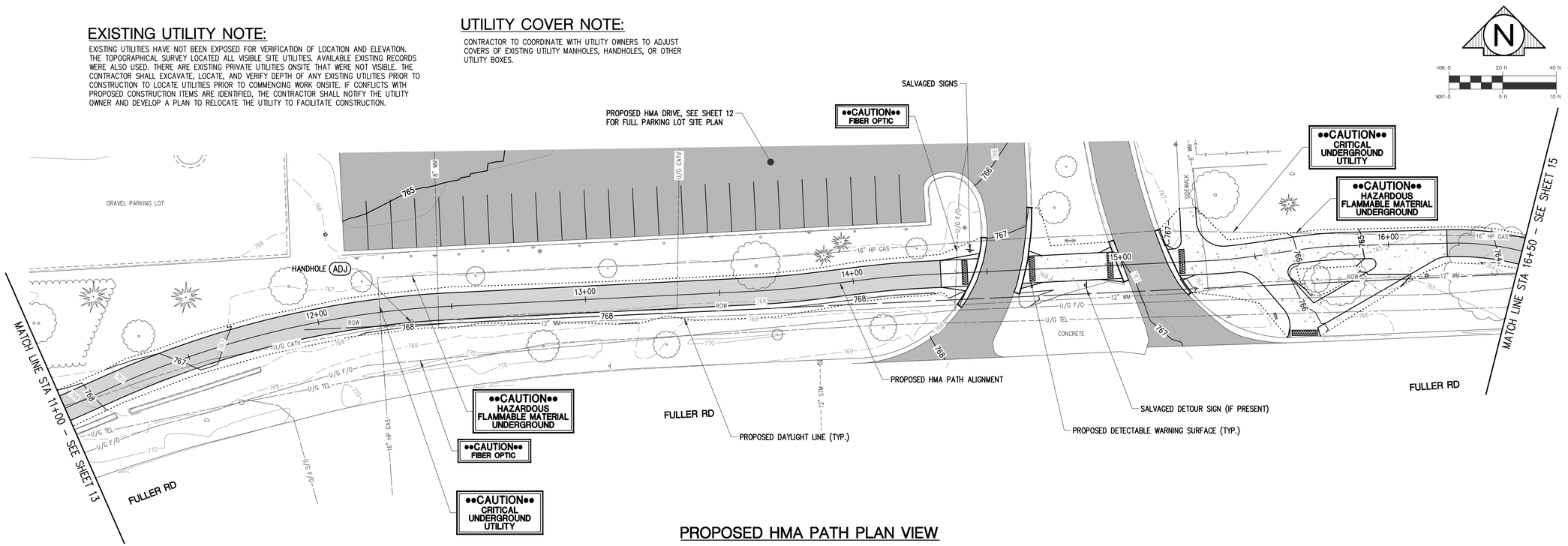
PLOTTED: 9/9/2024 4:20 PM

EXISTING UTILITY NOTE:

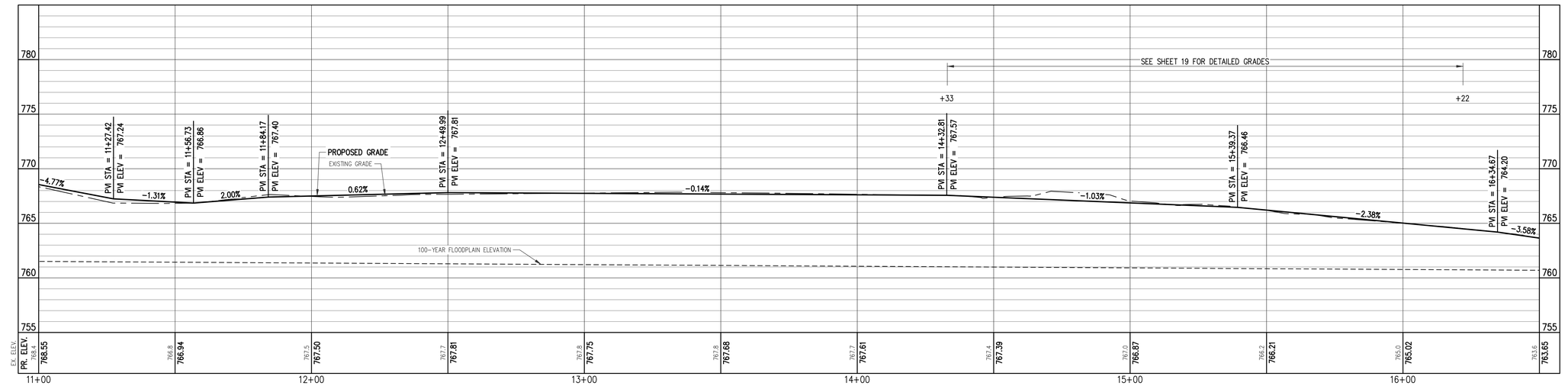
EXISTING UTILITIES HAVE NOT BEEN EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION. THE TOPOGRAPHICAL SURVEY LOCATED ALL VISIBLE SITE UTILITIES. AVAILABLE EXISTING RECORDS WERE ALSO USED. THERE ARE EXISTING PRIVATE UTILITIES ONSITE THAT WERE NOT VISIBLE. THE CONTRACTOR SHALL EXCAVATE, LOCATE, AND VERIFY DEPTH OF ANY EXISTING UTILITIES PRIOR TO CONSTRUCTION TO LOCATE UTILITIES PRIOR TO COMMENCING WORK ONSITE. IF CONFLICTS WITH PROPOSED CONSTRUCTION ITEMS ARE IDENTIFIED, THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNER AND DEVELOP A PLAN TO RELOCATE THE UTILITY TO FACILITATE CONSTRUCTION.

UTILITY COVER NOTE:

CONTRACTOR TO COORDINATE WITH UTILITY OWNERS TO ADJUST COVERS OF EXISTING UTILITY MANHOLES, HANDHOLES, OR OTHER UTILITY BOXES.



PROPOSED HMA PATH PLAN VIEW



PROPOSED HMA PATH PROFILE VIEW
STA 11+00 - 16+50

Know what's **below.** **Call** before you dig.

PLAN SUBMITTALS AND CHANGES

BIDDING DOCUMENTS

DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: 1"=20' HORZ; 1"=5' VERT

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
PROPOSED PATH PLAN AND PROFILE

REV:

SHT# 14 OF 19
JOB No: 2400478

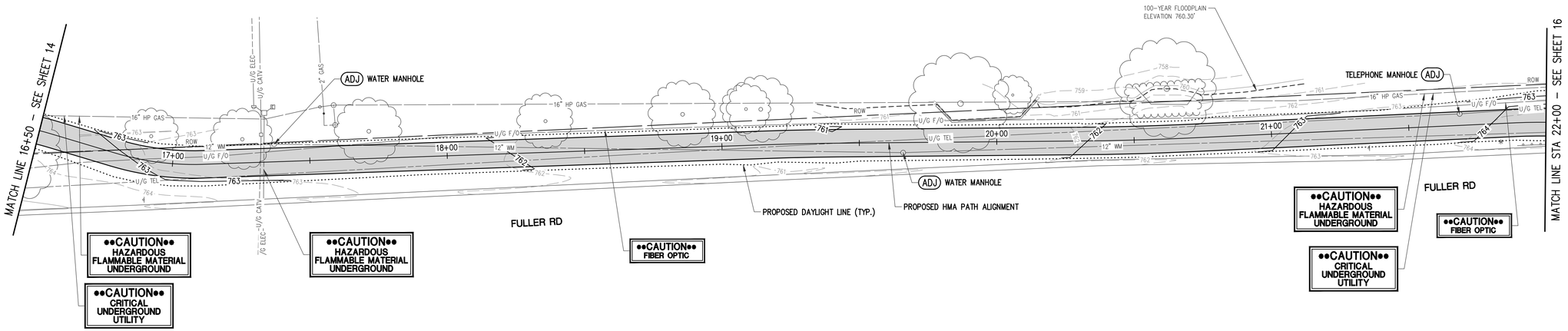
PLOTTED: 9/9/2024 4:20 PM
R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-PLAN AND PROFILE.dwg

EXISTING UTILITY NOTE:

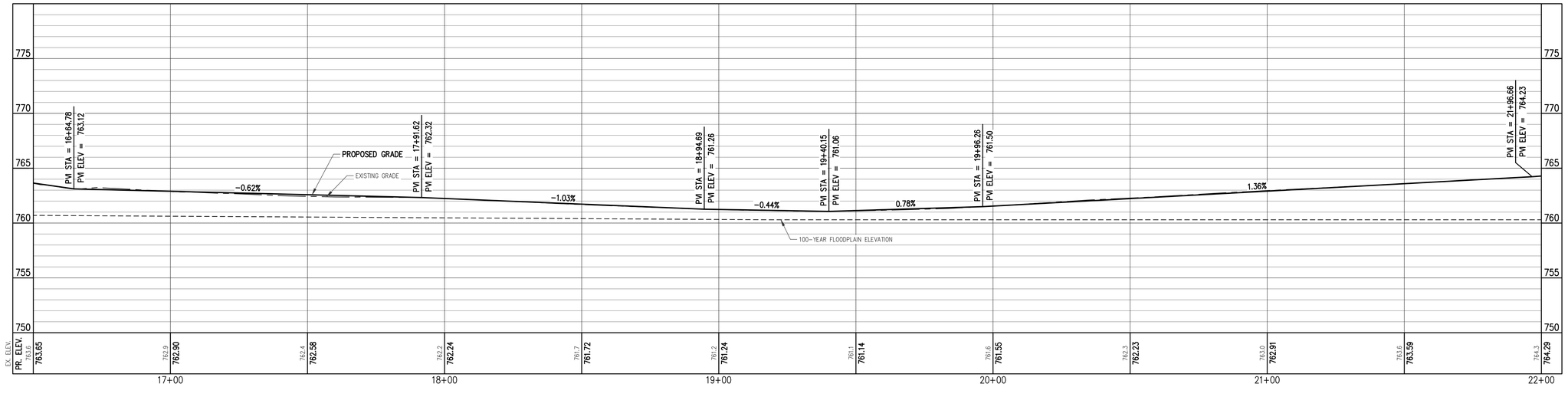
EXISTING UTILITIES HAVE NOT BEEN EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION. THE TOPOGRAPHICAL SURVEY LOCATED ALL VISIBLE SITE UTILITIES. AVAILABLE EXISTING RECORDS WERE ALSO USED. THERE ARE EXISTING PRIVATE UTILITIES ONSITE THAT WERE NOT VISIBLE. THE CONTRACTOR SHALL EXCAVATE, LOCATE, AND VERIFY DEPTH OF ANY EXISTING UTILITIES PRIOR TO CONSTRUCTION TO LOCATE UTILITIES PRIOR TO COMMENCING WORK ONSITE. IF CONFLICTS WITH PROPOSED CONSTRUCTION ITEMS ARE IDENTIFIED, THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNER AND DEVELOP A PLAN TO RELOCATE THE UTILITY TO FACILITATE CONSTRUCTION.

UTILITY COVER NOTE:

CONTRACTOR TO COORDINATE WITH UTILITY OWNERS TO ADJUST COVERS OF EXISTING UTILITY MANHOLES, HANDHOLES, OR OTHER UTILITY BOXES.



PROPOSED HMA PATH PLAN VIEW



PROPOSED HMA PATH PROFILE VIEW
STA 16+50 - 22+00

Know what's **below.**
Call before you dig.

PLAN SUBMITTALS AND CHANGES

BIDDING DOCUMENTS

DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

REV:

SHT# 15 OF 19

JOB No: 2400478

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: 1"=20' HORZ; 1"=5' VERT

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
PROPOSED PATH PLAN AND PROFILE

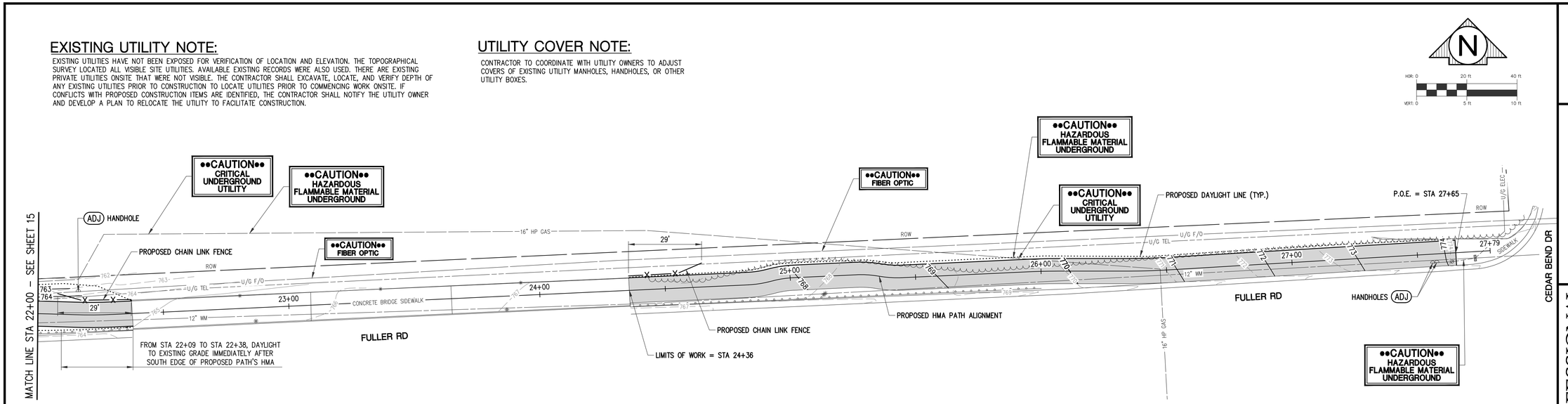
R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-PLAN AND PROFILE.dwg
PLOTTED: 9/9/2024 4:20 PM

EXISTING UTILITY NOTE:

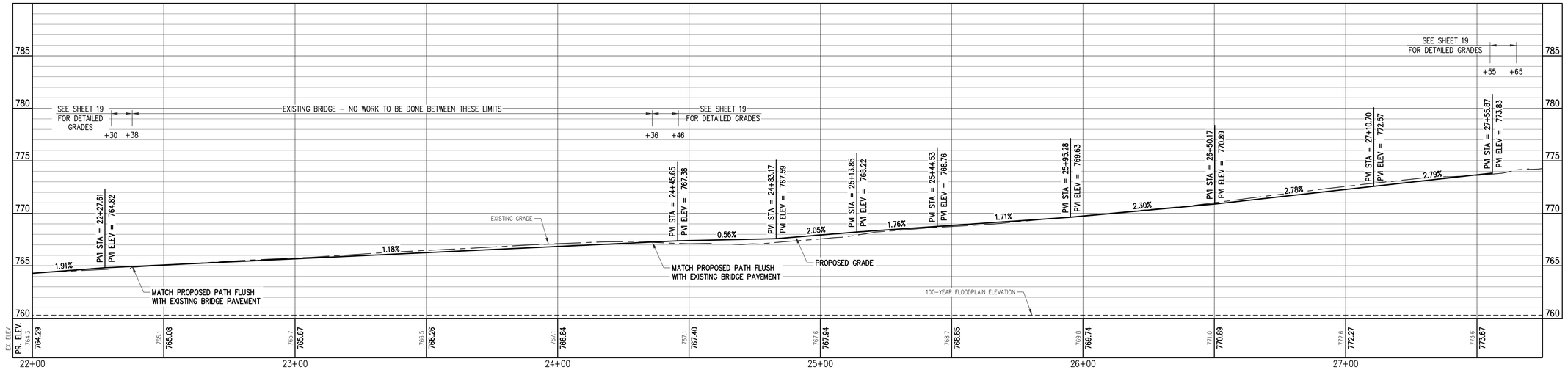
EXISTING UTILITIES HAVE NOT BEEN EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION. THE TOPOGRAPHICAL SURVEY LOCATED ALL VISIBLE SITE UTILITIES. AVAILABLE EXISTING RECORDS WERE ALSO USED. THERE ARE EXISTING PRIVATE UTILITIES ONSITE THAT WERE NOT VISIBLE. THE CONTRACTOR SHALL EXCAVATE, LOCATE, AND VERIFY DEPTH OF ANY EXISTING UTILITIES PRIOR TO CONSTRUCTION TO LOCATE UTILITIES PRIOR TO COMMENCING WORK ONSITE. IF CONFLICTS WITH PROPOSED CONSTRUCTION ITEMS ARE IDENTIFIED, THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNER AND DEVELOP A PLAN TO RELOCATE THE UTILITY TO FACILITATE CONSTRUCTION.

UTILITY COVER NOTE:

CONTRACTOR TO COORDINATE WITH UTILITY OWNERS TO ADJUST COVERS OF EXISTING UTILITY MANHOLES, HANDHOLES, OR OTHER UTILITY BOXES.



PROPOSED HMA PATH PLAN VIEW



PROPOSED HMA PATH PROFILE VIEW
STA 22+00 - 27+75

Know what's **below.** **Call** before you dig.

PLAN SUBMITTALS AND CHANGES

BIDDING DOCUMENTS

DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: 1"=20' HORZ; 1"=5' VERT

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

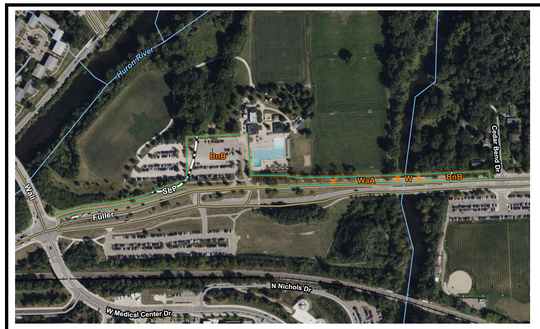
PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
PROPOSED PATH PLAN AND PROFILE

REV:

SHT# 16 OF 19

JOB No: 2400478

R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-PLAN AND PROFILE.dwg
PLOTTED: 9/9/2024 4:20 PM



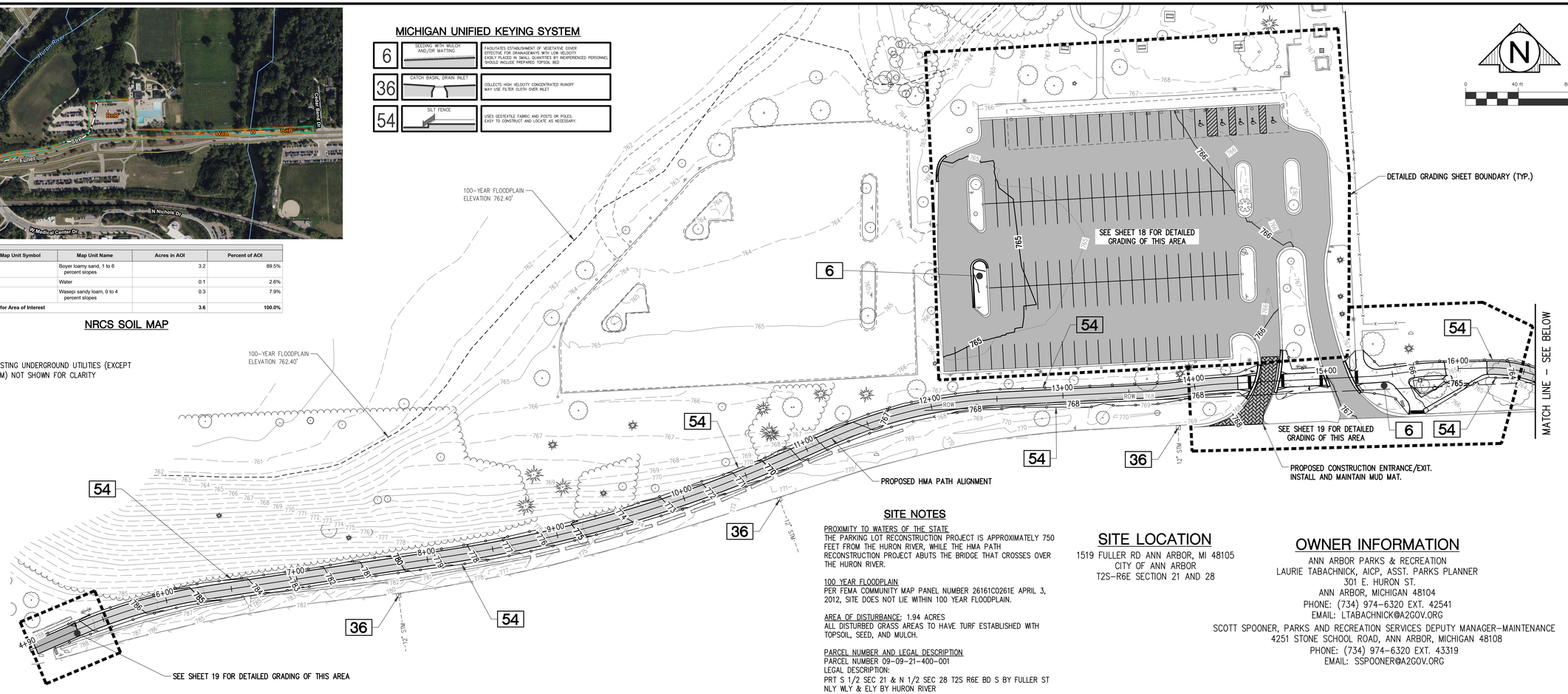
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
BnB	Boyer loamy sand, 1 to 6 percent slopes	3.2	89.5%
W	Water	0.1	2.6%
WaA	Wasepi sandy loam, 0 to 4 percent slopes	0.3	7.9%
Totals for Area of Interest		**3.6**	**100.0%**

NRCS SOIL MAP

MICHIGAN UNIFIED KEYING SYSTEM

6	SEEDING WITH MULCH AND/OR MATTING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER EFFECTIVE FOR DRAINAGEWAYS WITH LOW VELOCITY EASILY PLACED IN SMALL QUANTITIES BY INEXPERIENCED PERSONNEL SHOULD INCLUDE PREPARED TOPSOIL BED
36	CATCH BASIN, DRAIN INLET	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF MAY USE FILTER CLOTH OVER INLET
54	SILT FENCE	USES GEOTEXTILE FABRIC AND POSTS OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.

NOTE: EXISTING UNDERGROUND UTILITIES (EXCEPT FOR STORM) NOT SHOWN FOR CLARITY



SITE NOTES

PROXIMITY TO WATERS OF THE STATE
THE PARKING LOT RECONSTRUCTION PROJECT IS APPROXIMATELY 750 FEET FROM THE HURON RIVER, WHILE THE HMA PATH RECONSTRUCTION PROJECT ABUTS THE BRIDGE THAT CROSSES OVER THE HURON RIVER.

100 YEAR FLOODPLAIN
PER FEMA COMMUNITY MAP PANEL NUMBER 26161C0261E APRIL 3, 2012, SITE DOES NOT LIE WITHIN 100 YEAR FLOODPLAIN.

AREA OF DISTURBANCE: 1.94 ACRES
ALL DISTURBED GRASS AREAS TO HAVE TURF ESTABLISHED WITH TOPSOIL, SEED, AND MULCH.

PARCEL NUMBER AND LEGAL DESCRIPTION
PARCEL NUMBER 09-09-21-400-001
LEGAL DESCRIPTION:
PRT S 1/2 SEC 21 & N 1/2 SEC 28 T2S R6E BD S BY FULLER ST NLY WLY & ELY BY HURON RIVER

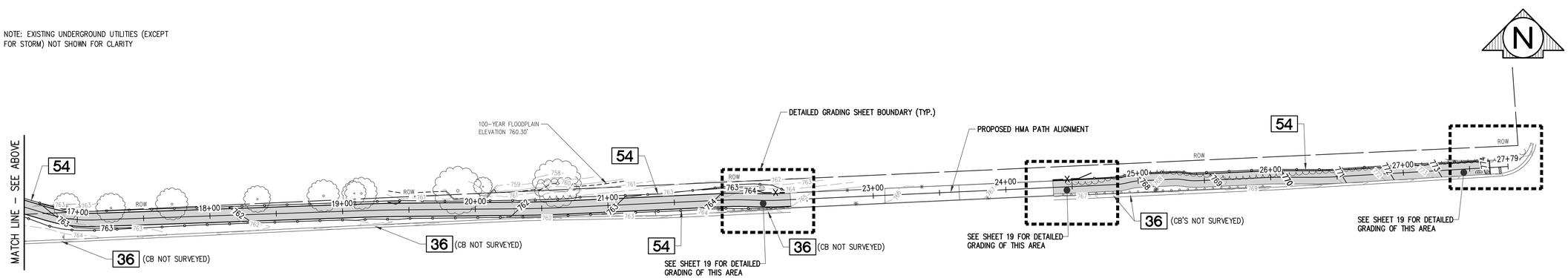
SITE LOCATION

1519 FULLER RD ANN ARBOR, MI 48105
CITY OF ANN ARBOR
T2S-R6E SECTION 21 AND 28

OWNER INFORMATION

ANN ARBOR PARKS & RECREATION
LAURIE TABACHNICK, AICP, ASST. PARKS PLANNER
301 E. HURON ST.
ANN ARBOR, MICHIGAN 48104
PHONE: (734) 974-6320 EXT. 42541
EMAIL: LTABACHNICK@A2GOV.ORG
SCOTT SPOONER, PARKS AND RECREATION SERVICES DEPUTY MANAGER-MAINTENANCE
4251 STONE SCHOOL ROAD, ANN ARBOR, MICHIGAN 48108
PHONE: (734) 974-6320 EXT. 43319
EMAIL: SSPOONER@A2GOV.ORG

NOTE: EXISTING UNDERGROUND UTILITIES (EXCEPT FOR STORM) NOT SHOWN FOR CLARITY



Know what's **below.** **Call** before you dig.

PLAN SUBMITTALS AND CHANGES

BIDDING DOCUMENTS

DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

REV:

SHT# 17 OF 19

JOB No: 2400478

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: 1" = 40'

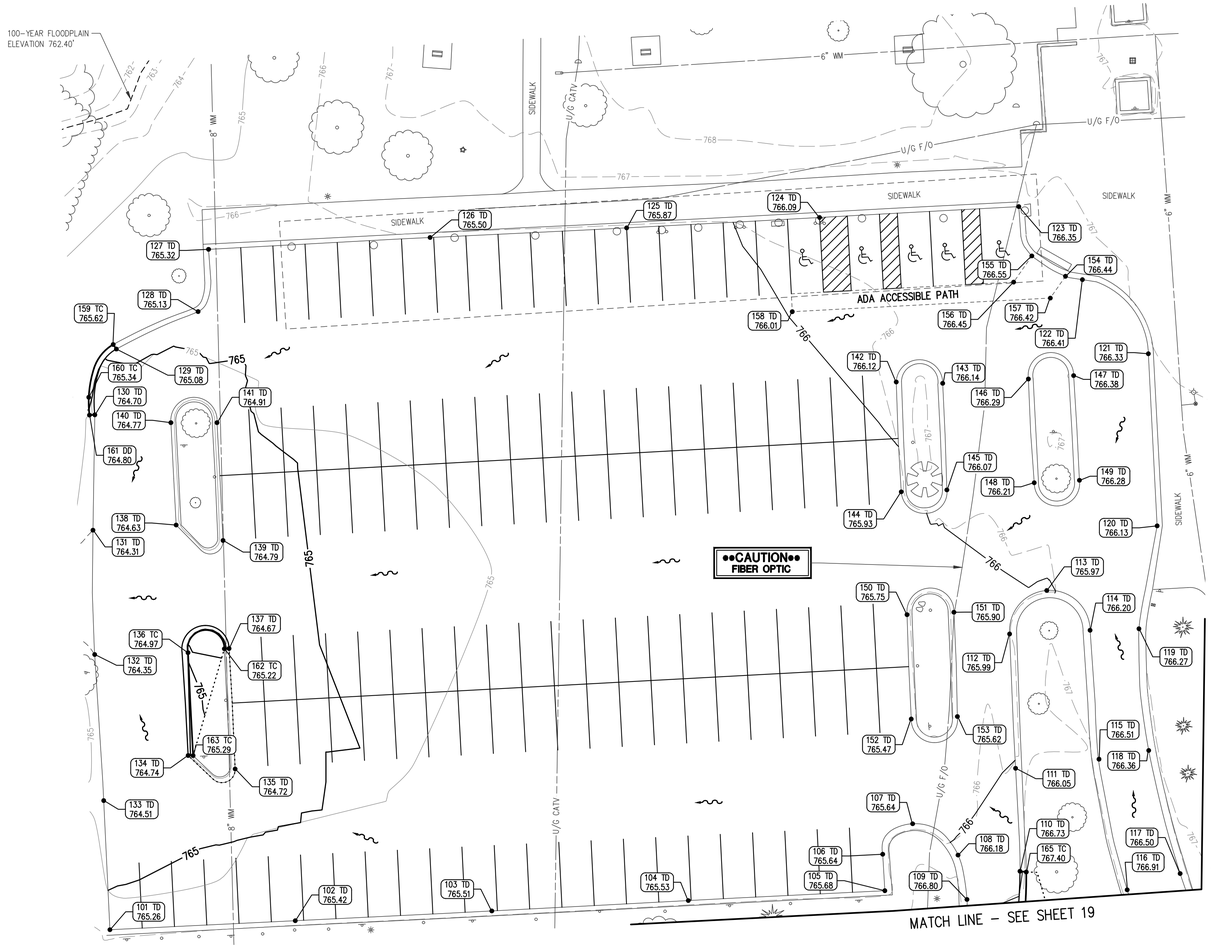
ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PREPARED FOR
ANN ARBOR PARKS AND RECREATION FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
OVERALL GRADING AND SESC SHEET

R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-GRAD_OVERALL.dwg
PLOTTED: 9/9/2024 4:20 PM

EXISTING UTILITY NOTE:

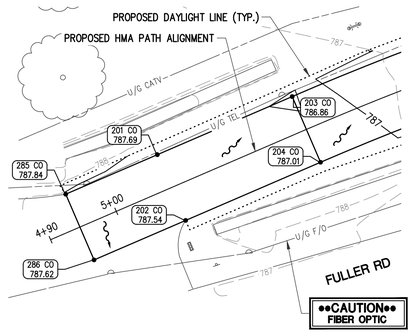
EXISTING UTILITIES HAVE NOT BEEN EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION. THE TOPOGRAPHICAL SURVEY LOCATED ALL VISIBLE SITE UTILITIES. AVAILABLE EXISTING RECORDS WERE ALSO USED. THERE ARE EXISTING PRIVATE UTILITIES ONSITE THAT WERE NOT VISIBLE. THE CONTRACTOR SHALL EXCAVATE, LOCATE, AND VERIFY DEPTH OF ANY EXISTING UTILITIES PRIOR TO CONSTRUCTION TO LOCATE UTILITIES PRIOR TO COMMENCING WORK ONSITE. IF CONFLICTS WITH PROPOSED CONSTRUCTION ITEMS ARE IDENTIFIED, THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNER AND DEVELOP A PLAN TO RELOCATE THE UTILITY TO FACILITATE CONSTRUCTION.

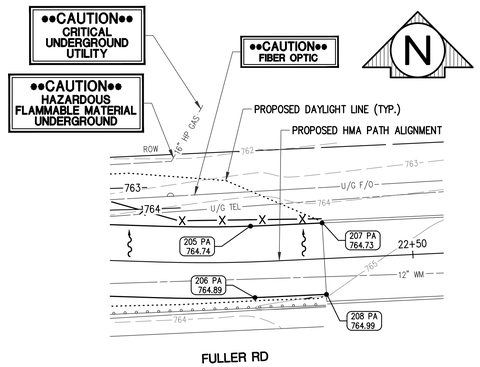


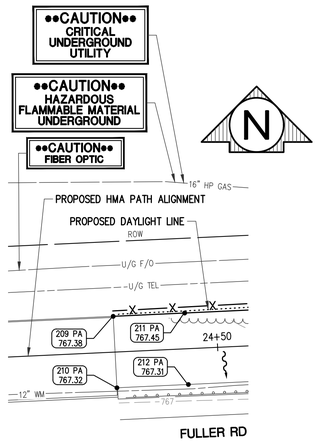
GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
101	TD=765.26	ME	287528.51	13295687.49
102	TD=765.42	ME	287531.03	13295739.30
103	TD=765.51	ME	287533.75	13295794.23
104	TD=765.53	ME	287536.66	13295849.15
105	TD=765.68	ME	287539.41	13295904.08
106	TD=765.64	ME	287549.61	13295903.48
107	TD=765.64	ME	287558.13	13295911.85
108	TD=766.18	ME	287549.38	13295924.54
109	TD=766.80	ME	287536.97	13295927.03
110	TD=766.73	ME	287544.85	13295941.85
111	TD=766.05	ME	287573.63	13295940.62
112	TD=765.99	ME	287611.18	13295938.95
113	TD=765.97	ME	287623.34	13295949.33
114	TD=766.20	ME	287612.22	13295961.44
115	TD=766.51	ME	287576.18	13295963.94
116	TD=766.91	ME	287539.66	13295971.81
117	TD=766.50	ME	287544.20	13295986.61
118	TD=766.36	ME	287578.62	13295977.83
119	TD=766.27	ME	287612.64	13295975.10
120	TD=766.13	ME	287641.40	13295980.19
121	TD=766.33	ME	287689.52	13295977.74
122	TD=766.41	ME	287710.24	13295959.30
123	TD=766.35	ME	287730.65	13295941.51
124	TD=766.09	ME	287727.61	13295885.83
125	TD=765.87	ME	287724.71	13295831.91
126	TD=765.50	ME	287722.02	13295776.98
127	TD=765.32	ME	287718.71	13295715.07
128	TD=765.13	ME	287701.30	13295712.14
129	TD=765.08	ME	287690.83	13295689.29
130	TD=764.70	ME	287672.45	13295683.28
131	TD=764.31	ME	287640.19	13295682.75
132	TD=764.35	ME	287605.43	13295683.24
133	TD=764.51	ME	287564.59	13295685.75
134	TD=764.74	ME	287577.21	13295709.36
135	TD=764.72	ME	287573.43	13295722.49
136	TC=764.97		287605.96	13295709.32
137	TD=764.67	ME	287607.11	13295720.79
138	TD=764.63	ME	287641.64	13295706.01
139	TD=764.79	ME	287637.32	13295719.11
140	TD=764.77	ME	287670.26	13295704.53
141	TD=764.91	ME	287670.25	13295717.43
142	TD=766.12	ME	287681.63	13295907.27
143	TD=766.14	ME	287681.25	13295920.24
144	TD=765.93	ME	287650.92	13295908.67
145	TD=766.07	ME	287651.45	13295921.42
146	TD=766.29	ME	287682.46	13295944.20
147	TD=766.38	ME	287683.41	13295956.85
148	TD=766.21	ME	287653.46	13295945.84
149	TD=766.28	ME	287654.15	13295958.46
150	TD=765.75	ME	287616.58	13295910.29
151	TD=765.90	ME	287617.25	13295923.39
152	TD=765.47	ME	287587.41	13295911.46
153	TD=765.62	ME	287588.11	13295924.36
154	TD=766.44	ME	287711.18	13295954.57
155	TD=766.55	ME	287716.87	13295945.17
156	TD=766.45		287709.55	13295940.09
157	TD=766.42		287705.08	13295950.33
158	TD=766.01		287701.28	13295878.21
159	TC=765.62	ME	287692.10	13295688.41
160	TC=765.34		287677.35	13295681.59
161	DD=764.80	TC	287672.37	13295681.78
162	TC=765.22	ME	287607.04	13295719.48
163	TC=765.29	ME	287577.17	13295710.75
165	TC=767.40	ME	287544.64	13295943.61

GRADING LEGEND

TC – TOP OF CURB
TD – TOP OF HMA DRIVE
PA – TOP OF HMA PATH
PC – POINT OF CURVATURE
DD – DUB DOWN (ADD 0.45' FOR FULL HEIGHT CURB)
CO – TOP OF CONCRETE PATH
ME – MATCH EXISTING
~~~ FLOW DIRECTION

N
0 20 ft 40 ft

Know what's **below.** **Call** before you dig.

PLAN SUBMITTALS AND CHANGES	
BIDDING DOCUMENTS	
DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: 1" = 20'

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
DETAILED GRADING PLAN

REV:

SHT# 18 OF 19

JOB No: 2400478

R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-GRAD_DET.dwg

PLOTTED: 9/9/2024 4:20 PM
~~~



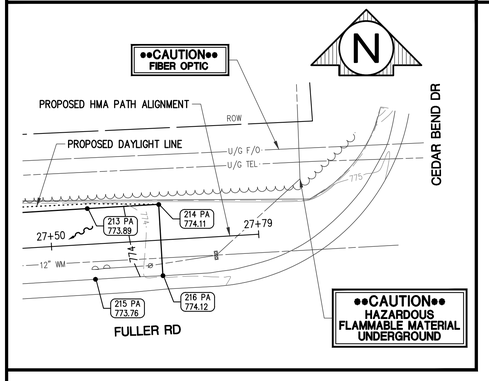




GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	STATION	OFFSET
201	CO=787.69		5+08.40	5.00' L
202	CO=787.54	ME	5+08.40	5.00' R
203	CO=786.86	PA	5+28.92	5.00' L
204	CO=787.01	PA	5+28.92	5.00' R
205	PA=764.74		22+27.46	5.00' L
206	PA=764.89		22+27.74	5.00' R
207	PA=764.73	ME	22+37.53	5.00' L
208	PA=764.99	ME	22+37.68	5.00' R
209	PA=767.38	ME	24+35.62	5.00' L
210	PA=767.32	ME	24+35.68	5.00' R
211	PA=767.45		24+45.62	5.00' L
212	PA=767.31		24+45.68	5.00' R
213	PA=773.89		27+55.31	5.00' L
214	PA=774.11	ME	27+65.31	4.97' L
215	PA=773.76		27+55.87	4.93' R
216	PA=774.12	ME	27+65.31	4.99' R
217	CO=767.49	PA	14+32.81	5.00' L
218	CO=767.64	PA	14+32.81	5.00' R
219	TC=767.51	ME	14+48.48	12.86' L
220	TD=766.98	ME	14+50.64	12.59' L
221	TC=767.70	CO	14+47.54	6.92' L
222	DD=767.32	TC, CO	14+47.00	5.00' L
223	DD=767.52	TC, CO	14+42.81	5.00' R
224	TC=768.01	CO	14+41.83	6.74' R
225	TC=768.24	ME	14+38.36	11.65' R
226	TD=767.73	ME	14+39.86	12.84' R
227	TD=768.03	ME	14+26.26	24.74' R
228	TD=768.12	ME	14+00.11	30.80' R
229	TD=767.98	ME	14+34.01	31.99' R
230	TD=767.71	ME	14+54.73	32.12' R
231	TD=767.64	ME	14+59.70	8.09' R
232	TC=768.18	ME	14+61.64	8.93' R

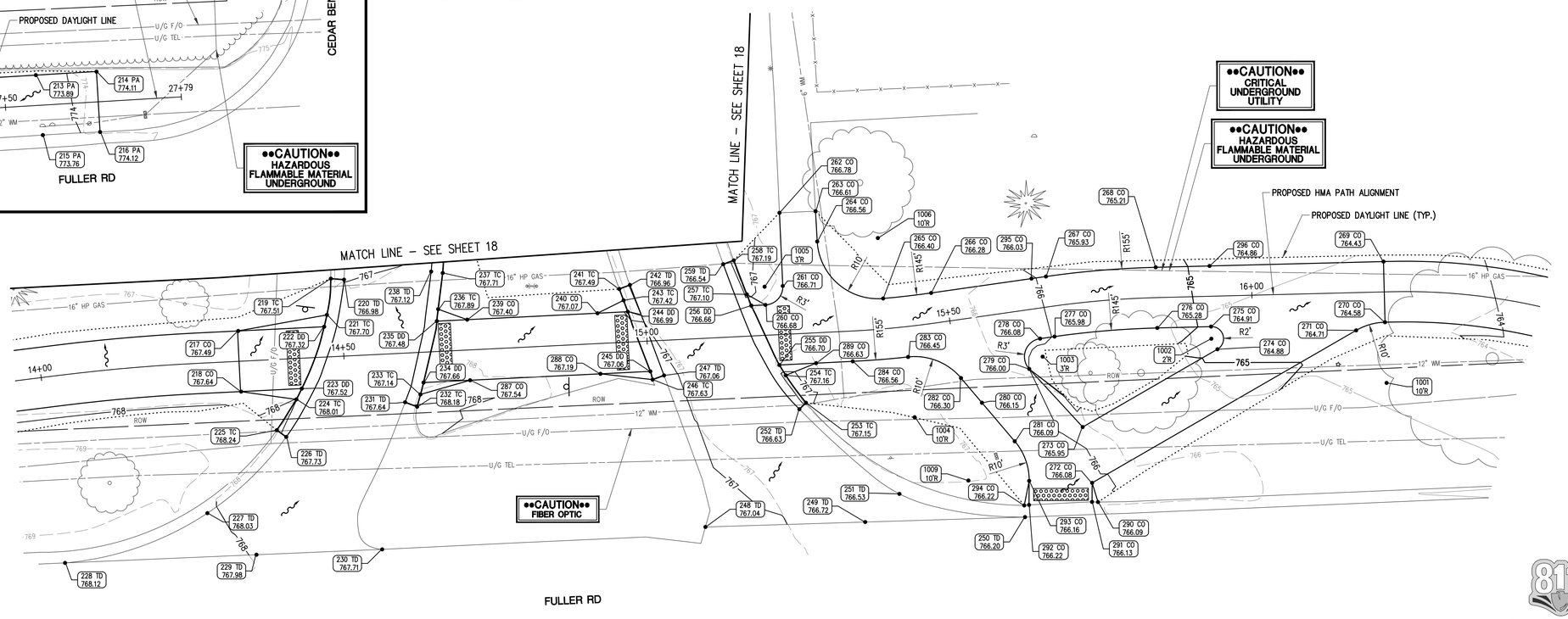
GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	STATION	OFFSET
233	TC=767.14	CO	14+62.29	6.93' R
234	DD=767.66	TC, CO	14+62.89	5.00' R
235	DD=767.48	TC, CO	14+65.57	5.00' L
236	TC=767.89	CO	14+65.89	6.96' L
237	TC=767.71		14+66.93	12.88' L
238	TD=767.12		14+65.05	13.22' L
239	CO=767.40		14+70.57	5.00' L
240	CO=767.07		14+92.07	5.00' L
241	TC=767.49	ME	14+95.86	8.81' L
242	TD=766.96	ME	14+97.63	9.39' L
243	TC=767.42	CO	14+96.46	6.91' L
244	DD=766.99	TC, CO	14+97.07	5.00' L
245	DD=767.06	TC, CO	15+00.29	5.00' R
246	TC=767.63	ME, CO	15+00.60	6.38' R
247	TD=767.06	ME	15+02.51	5.78' R
248	TD=767.04	ME	15+08.09	31.07' R
249	TD=766.72	ME	15+34.28	31.55' R
250	TD=766.20	ME	15+57.67	33.76' R
251	TD=766.53	ME	15+39.25	27.32' R
252	TD=766.63	ME	15+24.50	12.44' R
253	TC=767.15	ME	15+25.63	11.43' R
254	TC=767.16	CO	15+22.53	6.75' R
255	DD=766.70	TC, CO	15+21.57	5.00' R
256	DD=766.66	TC, CO	15+17.44	5.00' L
257	TC=767.10	CO	15+16.79	6.89' L
258	TC=767.19	ME	15+14.91	12.59' L
259	TD=766.54	ME	15+13.16	12.04' L
260	CO=766.68	PC	15+19.77	5.00' L
261	CO=766.71	PC	15+22.77	7.99' L
262	CO=766.78	ME	15+22.82	20.05' L
263	CO=766.61	ME	15+28.76	20.03' L
264	CO=766.56	PC	15+28.80	15.02' L

GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	STATION	OFFSET
265	CO=766.40	PC	15+39.37	5.00' L
266	CO=766.28	PC	15+47.60	5.00' L
267	CO=765.93	PC	15+66.70	5.00' L
268	CO=765.21	PC	15+84.28	5.00' L
269	CO=764.43	PA	16+21.80	5.00' L
270	CO=764.58	PC, PA	16+21.80	5.00' R
271	CO=764.71	PC	16+17.02	6.22' R
272	CO=766.08		15+70.09	29.72' R
273	CO=765.95		15+69.57	20.40' R
274	CO=764.88	PC	15+94.10	8.76' R
275	CO=764.91	PC	15+93.14	5.00' R
276	CO=765.28	PC	15+84.28	5.00' R
277	CO=765.98	PC	15+66.70	5.00' R
278	CO=766.08	PC	15+64.30	5.00' R
279	CO=766.00	PC	15+61.82	9.70' R
280	CO=766.15		15+53.33	14.10' R
281	CO=766.09	PC	15+57.76	21.15' R
282	CO=766.30	PC	15+50.48	9.58' R
283	CO=766.45	PC	15+42.52	5.00' R
284	CO=766.56	PC	15+33.67	5.00' R
285	CO=787.84	ME	4+94.46	5.00' L
286	CO=787.62	ME	4+94.46	5.00' R
287	CO=767.54		14+70.57	5.00' R
288	CO=767.19		14+92.07	5.00' R
289	CO=766.63		15+27.62	5.00' R
290	CO=766.09	ME, TC	15+70.84	32.97' R
291	CO=766.13	ME, DD, TC	15+69.58	32.83' R
292	CO=766.22	ME, DD, TC	15+58.61	31.87' R
293	CO=766.16	PC	15+59.19	27.95' R
294	CO=766.22	ME, TC	15+57.82	31.84' R
295	CO=766.03		15+64.30	5.00' L
296	CO=764.86		15+93.14	5.00' L



EXISTING UTILITY NOTE:

EXISTING UTILITIES HAVE NOT BEEN EXPOSED FOR VERIFICATION OF LOCATION AND ELEVATION. THE TOPOGRAPHICAL SURVEY LOCATED ALL VISIBLE SITE UTILITIES. AVAILABLE EXISTING RECORDS WERE ALSO USED. THERE ARE EXISTING PRIVATE UTILITIES ONSITE THAT WERE NOT VISIBLE. THE CONTRACTOR SHALL EXCAVATE, LOCATE, AND VERIFY DEPTH OF ANY EXISTING UTILITIES PRIOR TO CONSTRUCTION TO LOCATE UTILITIES PRIOR TO COMMENCING WORK ONSITE. IF CONFLICTS WITH PROPOSED CONSTRUCTION ITEMS ARE IDENTIFIED, THE CONTRACTOR SHALL NOTIFY THE UTILITY OWNER AND DEVELOP A PLAN TO RELOCATE THE UTILITY TO FACILITATE CONSTRUCTION.



RADIUS POINTS			
POINT	DESCRIPTION	STATION	OFFSET
1001	10' RADIUS (CO)	16+21.80	15.00' R
1002	2' RADIUS (CO)	15+93.14	7.00' R
1003	3' RADIUS (CO)	15+64.30	8.00' R
1004	10' RADIUS (CO)	15+42.52	15.00' R
1005	3' RADIUS (CO)	15+19.77	8.00' L
1006	10' RADIUS (CO)	15+39.37	15.00' L
1007	145' & 155' RADIUS (CO)	15+66.70	150.00' R
1008	145' & 155' RADIUS (CO)	15+47.60	150.00' L
1009	10' RADIUS (CO)	15+49.30	26.48' R

NOTE: POINTS 1007 AND 1008 NOT SHOWN ON THIS SHEET.

GRADING LEGEND

TC – TOP OF CURB
TD – TOP OF HMA DRIVE
PA – TOP OF HMA PATH
PC – POINT OF CURVATURE
DD – DUB DOWN (ADD 0.45' FOR FULL HEIGHT CURB)
CO – TOP OF CONCRETE PATH
ME – MATCH EXISTING
FLOW DIRECTION

Know what's **below.**
Call before you dig.

PLAN SUBMITTALS AND CHANGES	
BIDDING DOCUMENTS	
DATE	DESCRIPTION
9/9/24	ISSUED FOR BIDS

ROWE PROFESSIONAL SERVICES COMPANY
The Rowe Building
540 S. Saginaw St., Suite 200
Flint, MI 48502
O: (810) 341-7500
www.rowepsc.com

PLAN DATE: SEPTEMBER 2024
PROJECT MGR: DRS
REVIEWER: AJW
SCALE: 1" = 10'

PREPARED FOR
ANN ARBOR PARKS AND RECREATION
FULLER PARK IMPROVEMENTS
WASHTENAW COUNTY
DETAILED GRADING PLAN

REV:

SHT# 19 OF 19
JOB No: 2400478

PLOTTED: 9/9/2024 4:21 PM
R:\Projects\2400478\Dwg\Construction Drawings\SH-2400478-GRAD_DET.dwg