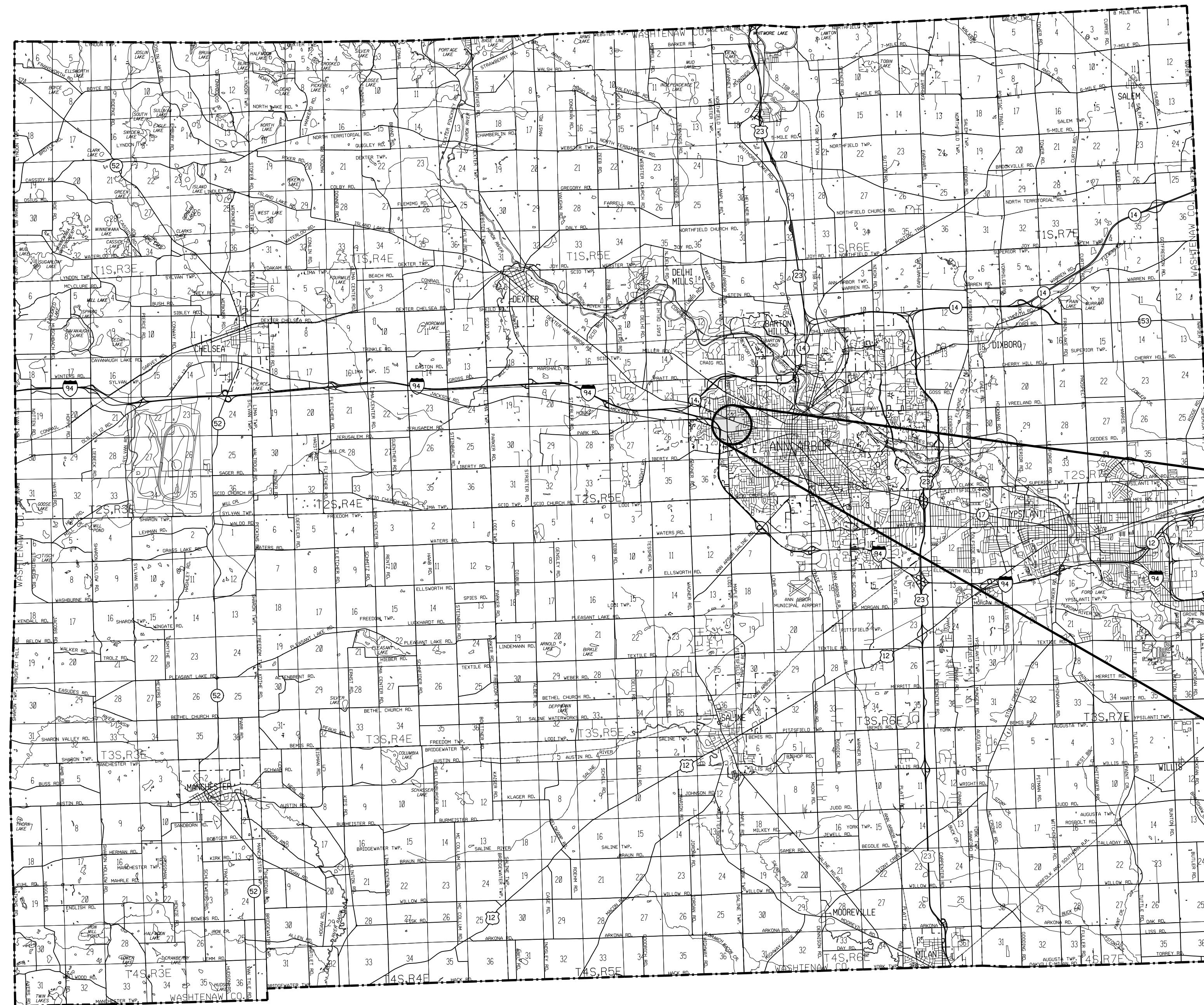
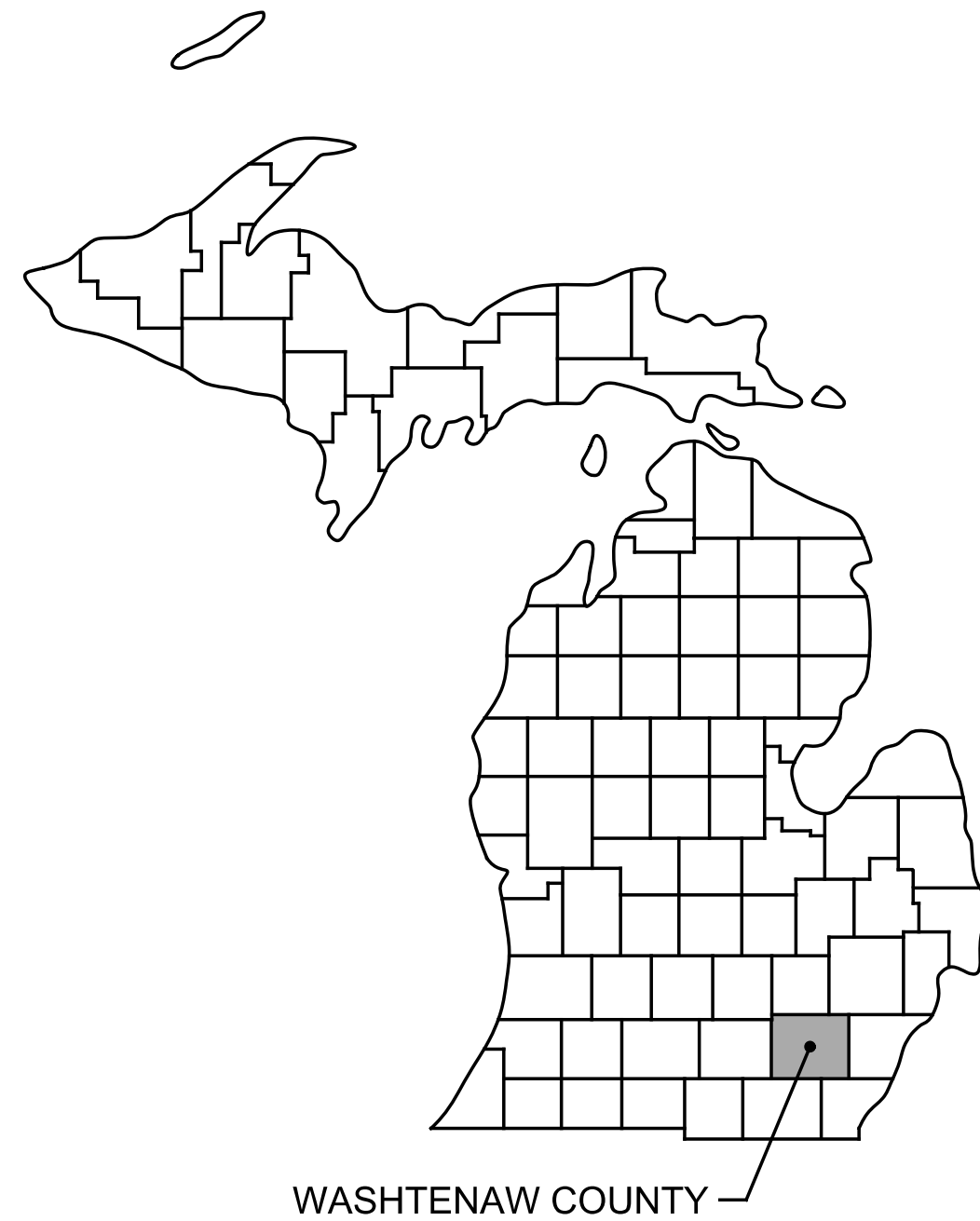


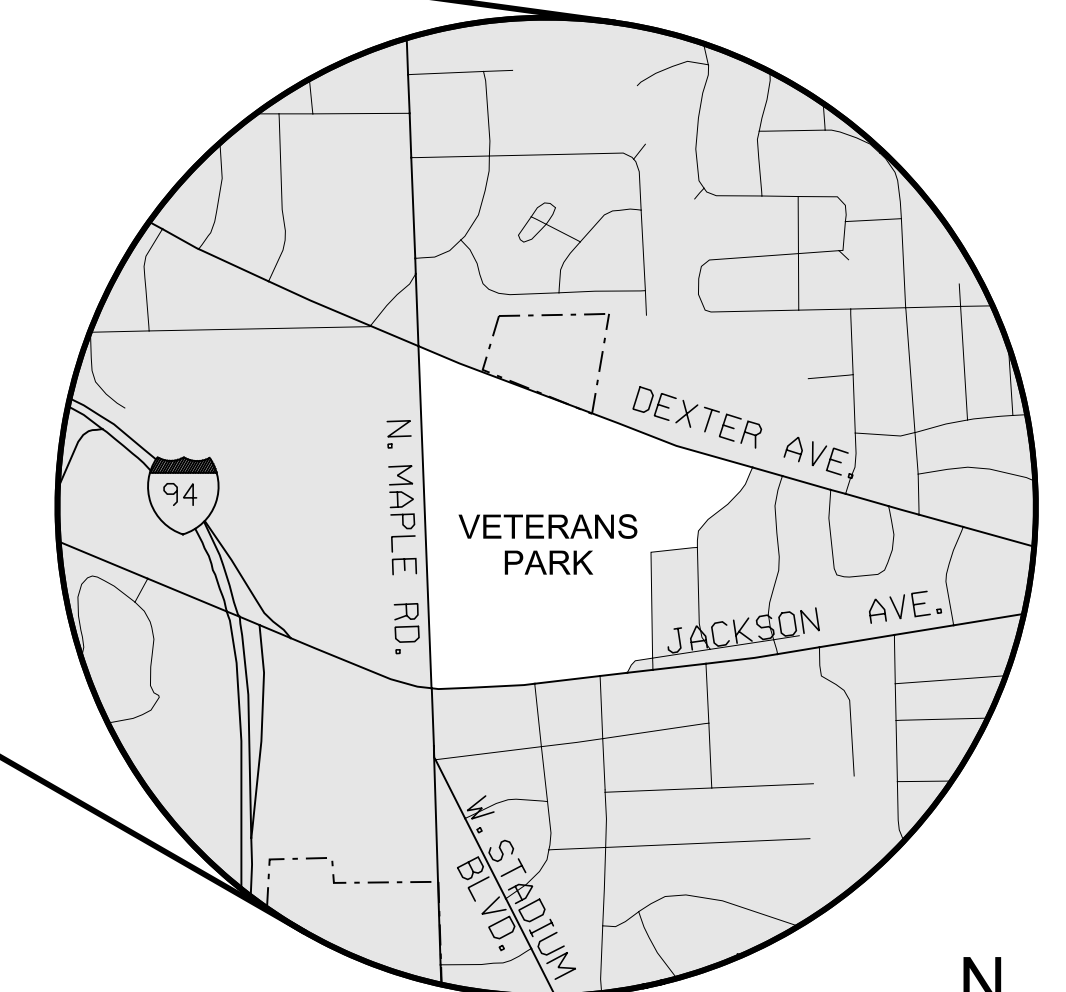
# VETERANS PARK SHELTER DEMOLITION

## CITY OF ANN ARBOR

WASHTENAW COUNTY, MICHIGAN  
HRC JOB No. 20220118



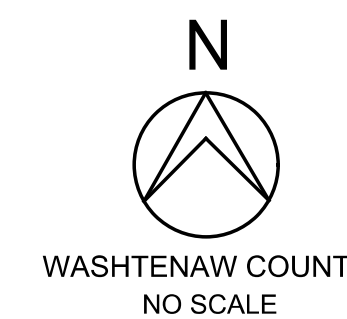
PLAN INDEX	SHEET No.
COVER SHEET	
SITE DEMOLITION AND CONSTRUCTION PLAN	C-1
SOIL EROSION AND SEDIMENTATION CONTROL PLAN	C-2
BUILDING DEMOLITION PLAN	D-1
ELECTRICAL SITE PLAN	E-1
ELECTRICAL DETAILS	E-2



PROJECT LOCATION  
PART OF THE NW 1/4 OF SECTION 30, T2S, R6E  
NO SCALE



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DATE	ISSUED FOR / ADDITIONS / REVISIONS
07/01/22	ISSUED FOR BIDS
06/07/22	80% OWNER REVIEW



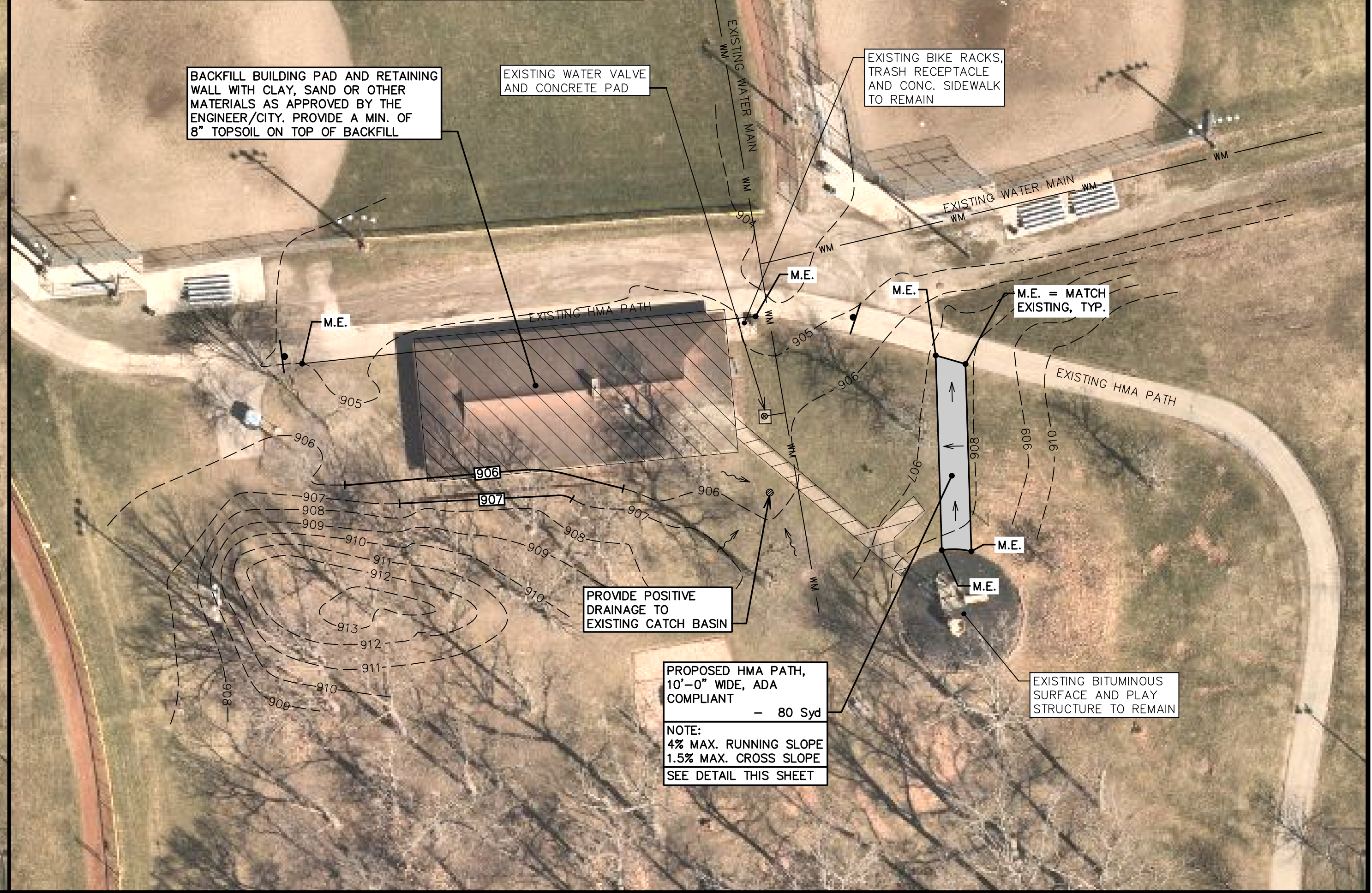
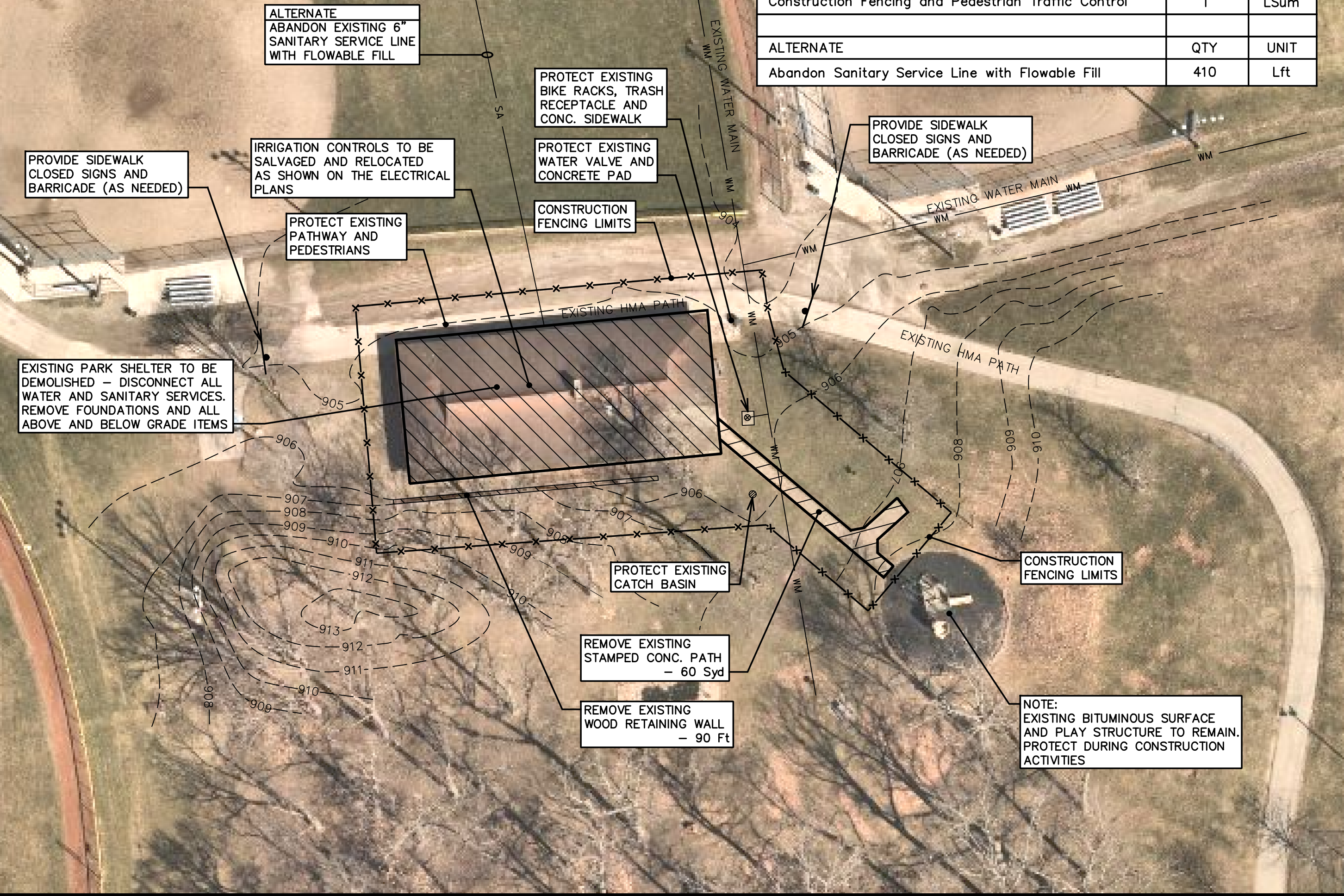
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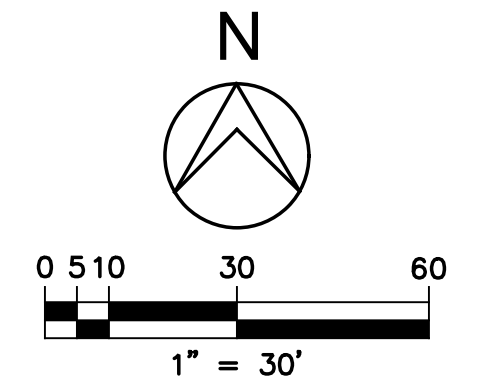
VA\202201\20220118\C\Sheets\site.dgn

DEMOLITION QUANTITIES THIS SHEET		
DESCRIPTION	QTY	UNIT
Demolition and Disposal of Building (does not include scrap value)	4,630	Sft
Asbestos Abatement and Disposal	1	LSum
Retaining Wall, Wood, Rem	90	Lft
Path, Stamped Conc, Rem	60	Syd
Construction Fencing and Pedestrian Traffic Control	1	LSum
ALTERNATE		
DESCRIPTION	QTY	UNIT
Abandon Sanitary Service Line with Flowable Fill	410	Lft

CONSTRUCTION QUANTITIES THIS SHEET		
DESCRIPTION	UNIT	QTY
Wearing Course (1.5 inch), HMA, 5E03	80	Syd
Base Course (2.5 inch), HMA 4E03	80	Syd
Aggregate Base (6 inch), CIP, 21AA Crushed Limestone	80	Syd
Site Grading	1	LSum
Restoration of Construction Area	1	LSum



EXISTING SITE DEMOLITION PLAN



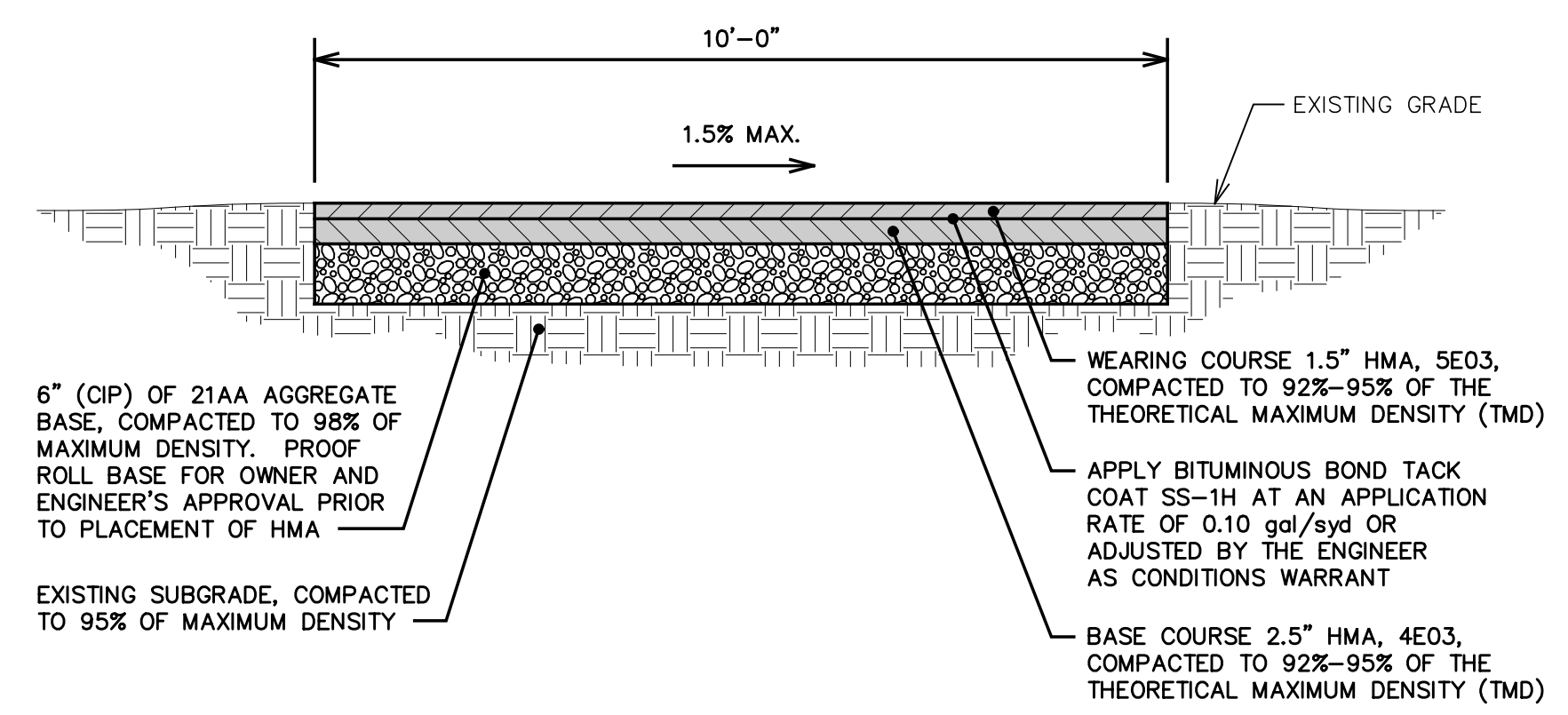
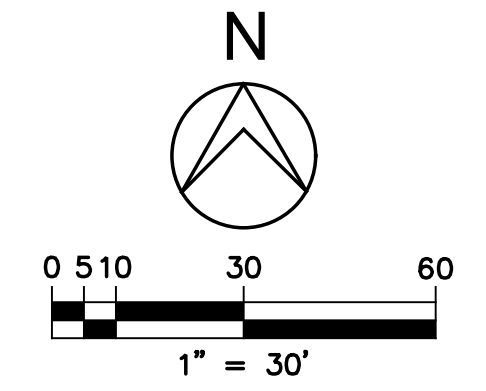
**MISCELLANEOUS QUANTITIES**  
SEVERAL PAY ITEMS INCLUDED IN THE PROPOSAL ARE NOT SPECIFICALLY SHOWN ON THE PLANS. THESE ITEMS SHALL BE CONSTRUCTED AS DIRECTED BY THE PROJECT ENGINEER OR USED AS NEEDED.

DESCRIPTION	QTY	UNIT
Mobilization, Max 5%	1	LSum
Soil Erosion and Sedimentation Control (incl. permit fees)	1	LSum

**CONSTRUCTION NOTES:**

- CONTRACTOR TO MANAGE PEDESTRIAN TRAFFIC AROUND DEMOLITION AREA. CLOSE ADJACENT PATH DURING CONSTRUCTION. COORDINATE CLOSURES WITH PARK STAFF.
- CONTRACTOR SHALL PROVIDE 'SIDEWALK CLOSED' SIGNS AND BARRICADES AS REQUIRED.
- CONTRACTOR SHALL NOT LEAVE AN OPEN HOLE WHEN NOT WORKING. EXCAVATED AREA TO BE COVERED AND FENCED OFF DURING NON-CONSTRUCTION HOURS.
- CONTRACTOR SHALL PROTECT EXISTING HMA PATH DURING CONSTRUCTION ACTIVITIES. ANY DAMAGE TO THE EXISTING HMA PATH SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROTECT ALL TREES DURING CONSTRUCTION ACTIVITIES. NO TREES MAY BE REMOVED WITHOUT PRIOR CONSENT FROM THE OWNER.

CONSTRUCTION SITE PLAN



TYPICAL CROSS SECTION HMA, ADA COMPLIANT PATH  
NOT TO SCALE

**NOTICE:**  
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**PLAN LEGEND:**

EXISTING CONTOURS	---	911
PROPOSED CONTOURS	---	907
PROPOSED REMOVALS		
PROPOSED HMA PAVEMENT		
PROPOSED CONSTRUCTION FENCING	---	
MATCH EXISTING	M.E.	
SIDEWALK CLOSED SIGN		
EXISTING WATER MAIN	---	WM
EXISTING WATER VALVE	⊗	
EXISTING CATCH BASIN	⊕	
EXISTING SANITARY LEAD	---	SA



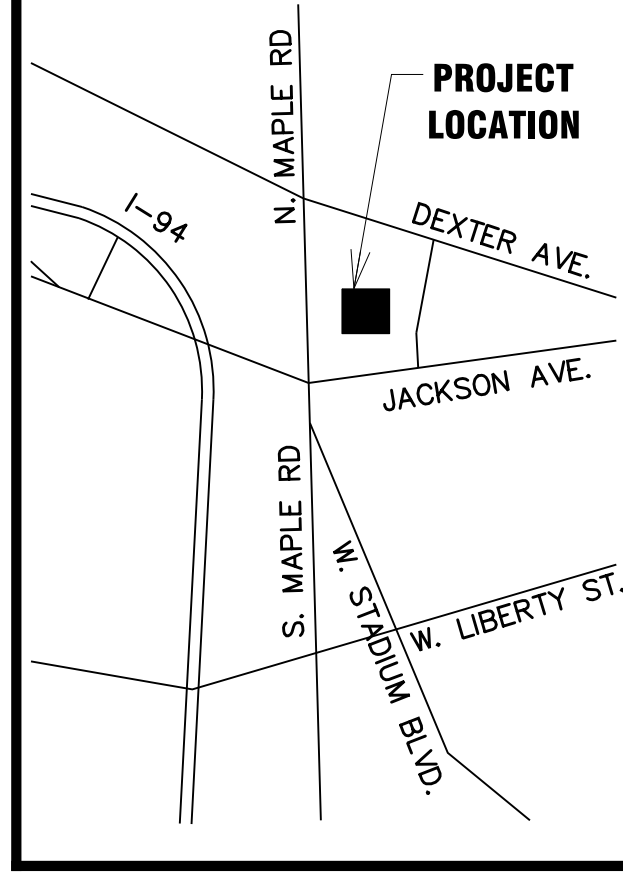
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06/07/22	80% OWNER REVIEW
DESIGNED	R.J.K.
DRAWN	J.A.R.
CHECKED	R.J.K. / J.V.B.
APPROVED	J.F.B.



**VETERANS PARK  
SHELTER DEMOLITION**

**SITE DEMOLITION AND  
CONSTRUCTION PLANS**

HRC JOB NO. 20220118	SCALE 1"=30'
DATE June 2022	SHEET NO. C-1

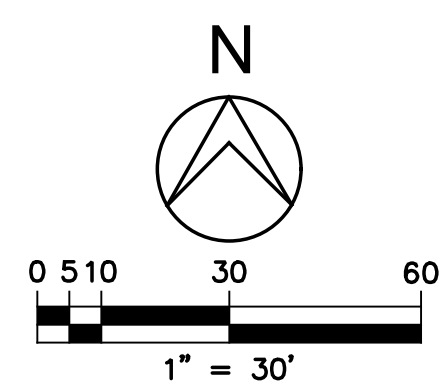


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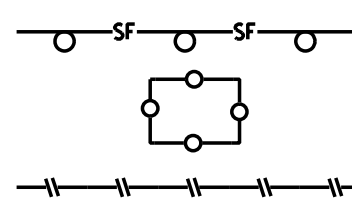
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PROJECT AREA - SESC PLAN

**SESC LEGEND:**

- EROSION CONTROL, SILT FENCE
- EROSION CONTROL, INLET FILTER
- LIMITS OF DISTURBANCE



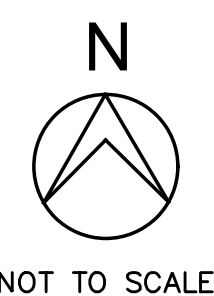
**SESC QUANTITIES THIS SHEET  
(FOR INFORMATIONAL PURPOSES ONLY)**

DESCRIPTION	UNIT	QTY
Erosion Control, Silt Fence	Lft	285
Erosion Control, Inlet Filter	Ea	1

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CpA	Conover-Brookston loams, 0 to 2 percent slopes	26.3	27.8%
MdA	Matherton sandy loam, 0 to 4 percent slopes	7.6	8.1%
Ur	Urban land	3.6	3.8%
WawabB	Wawasee loam, 2 to 6 percent slopes	32.1	33.9%
WawabC	Wawasee loam, 6 to 12 percent slopes	25.0	26.4%
<b>Totals for Area of Interest</b>		<b>94.6</b>	<b>100.0%</b>

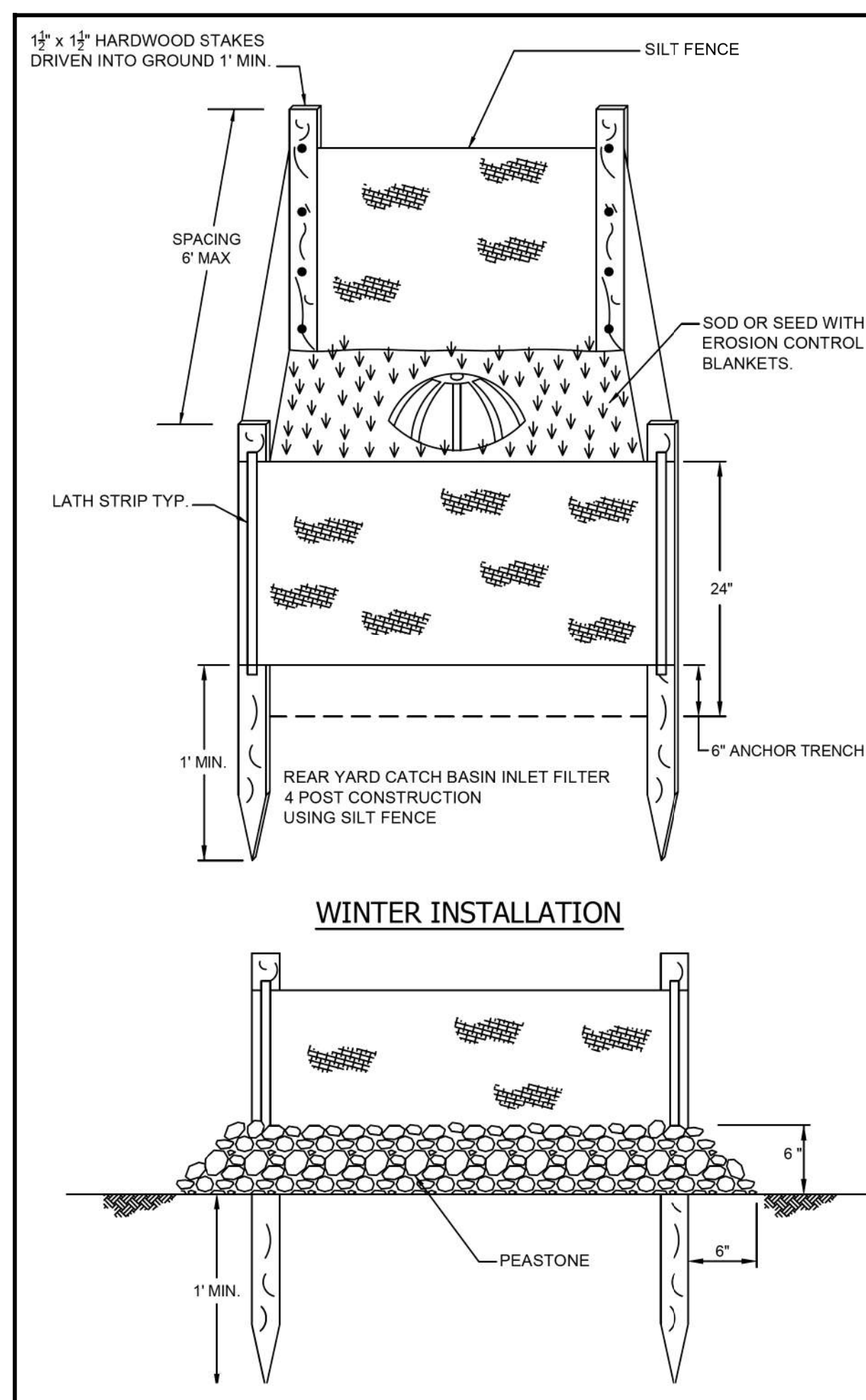
NOTE: SOIL SURVEY DATA PER USDA NATIONAL RESOURCES CONSERVATION SURVEY

**SOILS MAP**



**SEQUENCE OF CONSTRUCTION**

- PLACE SOIL EROSION CONTROL MEASURES.
- DEMOLISH PARK SHELTER.
- REMOVE WOOD RETAINING WALL.
- REMOVE STAMPED CONCRETE PATH.
- INSTALL NEW HMA PATH.
- REGRADE SITE.
- SITE RESTORATION WITH TOPSOIL, SEED, MULCH AND/OR SOD.
- REMOVE SOIL EROSION CONTROL MEASURES.



WINTER INSTALLATION

INLET FILTER

SCALE: NONE

**SOIL EROSION AND SEDIMENTATION CONTROL (SESC) NOTES**

**GENERAL MAINTENANCE:**

CONTRACTOR SHALL CONFORM TO SOIL EROSION AND SEDIMENTATION CONTROL ACT, PART 91 OF ACT No. 451 OF PUBLIC ACTS OF 1994 AS AMENDED, BEING SECTION 324.9101-324.9123 OF MICHIGAN COMPILED LAWS AND TITLE V, CHAPTER 63, CITY OF ANN ARBOR ORDINANCE CODE.

APPROPRIATE SOIL EROSION AND SEDIMENTATION AND CONTROL (SESC) MEASURES SHALL BE IN PLACE PRIOR TO EARTH DISTURBING ACTIVITIES. PLACE TURF ESTABLISHMENT ITEMS AS SOON AS POSSIBLE ON POTENTIAL ERODIBLE SLOPES AS DIRECTED BY THE ENGINEER.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT SESC MEASURES ARE IN PLACE AND MAINTAINED UNTIL THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED MEASURES SHALL BE PAID ONLY ONCE.

TEMPORARY SESC MEASURES SHALL BE INSTALLED, MAINTAINED AND REMOVED BY THE CONTRACTOR.

DAILY MAINTENANCE IS THE CONTRACTOR'S RESPONSIBILITY.

TEMPORARY SESC MEASURES SHALL BE REMOVED AT THE END OF THE PROJECT.

TEMPORARY SESC MEASURES SHALL BE INSTALLED PRIOR TO EARTH DISTURBANCE.

**EROSION CONTROL SILT FENCE:**

SILT FENCE IS TO BE INSTALLED PER CITY OF ANN ARBOR, PUBLIC SERVICES DEPARTMENT STANDARD SILT FENCE DETAIL, SD-EC-3. SEE DETAIL THIS SHEET.

INSPECT SILT FENCE DAILY AND IMMEDIATELY FOLLOWING EACH RAINFALL.

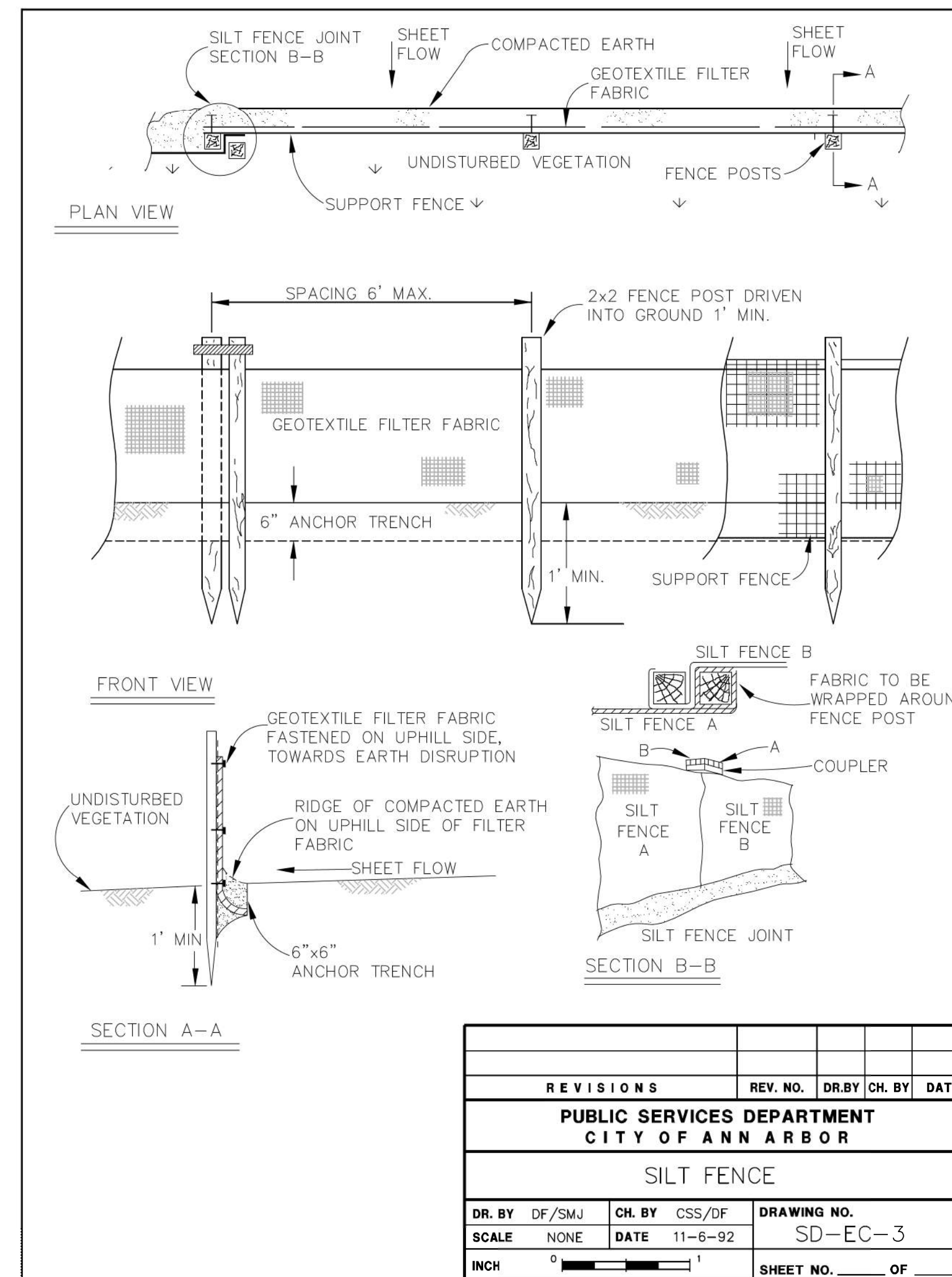
REPAIR SILT FENCE WHEN SAGGING OR HAS BEEN REMOVED/TORN DOWN.

WHEN SILT COLLECTS TO HALF THE HEIGHT OF THE FENCE ALL SILT IS TO BE REMOVED AND FENCE REPAIRED IF DAMAGED.

REMOVE SILT FENCE AT THE END OF CONSTRUCTION AFTER FINAL GRADING AND RESTORATION HAS BEEN COMPLETED.

**NEAREST WATER COURSE:**

+/- 4,300 Ft to FIRST SISTER LAKE.



REVISIONS				REV. NO.	DR. BY	CH. BY	DATE
PUBLIC SERVICES DEPARTMENT CITY OF ANN ARBOR							
SILT FENCE							
DR. BY	DF/SMJ	CH. BY	CSS/DF	DRAWING NO.			
SCALE	NONE	DATE	11-6-92	SD-EC-3			
INCH			0 1		SHEET NO. OF		



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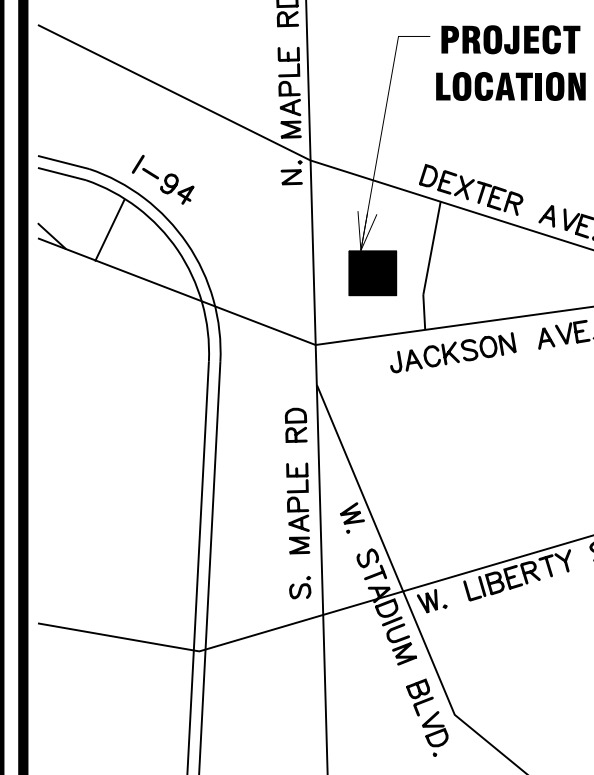
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06/07/22	80% OWNER REVIEW
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DRAWN	J.A.R.
CHECKED	R.J.K. / J.V.B.
APPROVED	J.F.B.



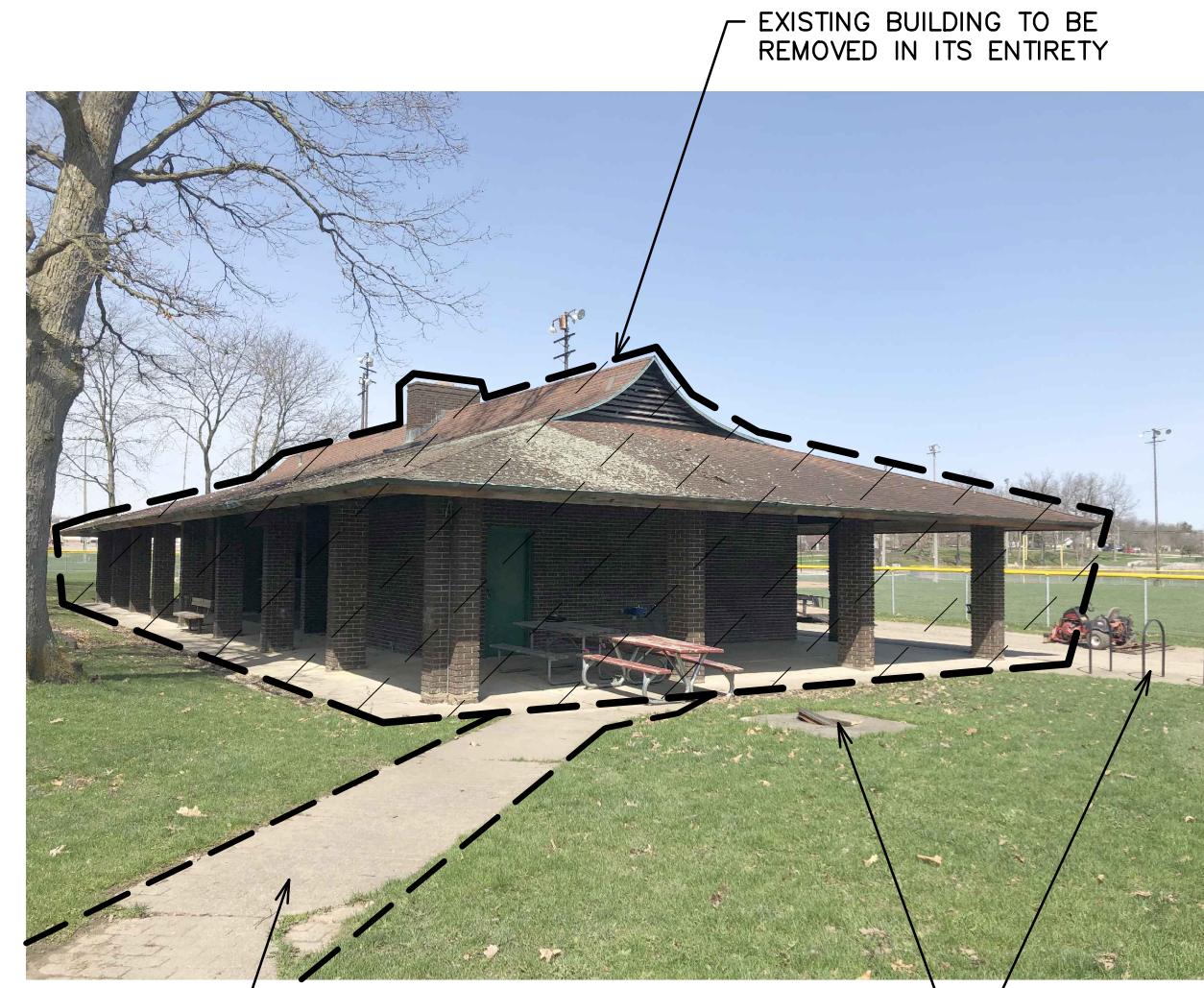
**VETERANS PARK  
SHELTER DEMOLITION**

**SOIL EROSION AND  
SEDIMENTATION CONTROL  
PLAN**

HRC JOB NO. 20220118	SCALE AS NOTED
DATE June 2022	SHEET NO. C-2

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EXISTING SIDEWALK TO PLAY STRUCTURE TO BE REMOVED

PHOTO NO. 01



EXISTING PAVING FOR BIKE RACK AND TRASH TO REMAIN

PHOTO NO. 02



EXISTING PLANTER BED WAS REMOVED IN THE PAST - CONTRACTOR TO REMOVE ANY REMAINING BELOW GRADE COMPONENTS

PHOTO NO. 03

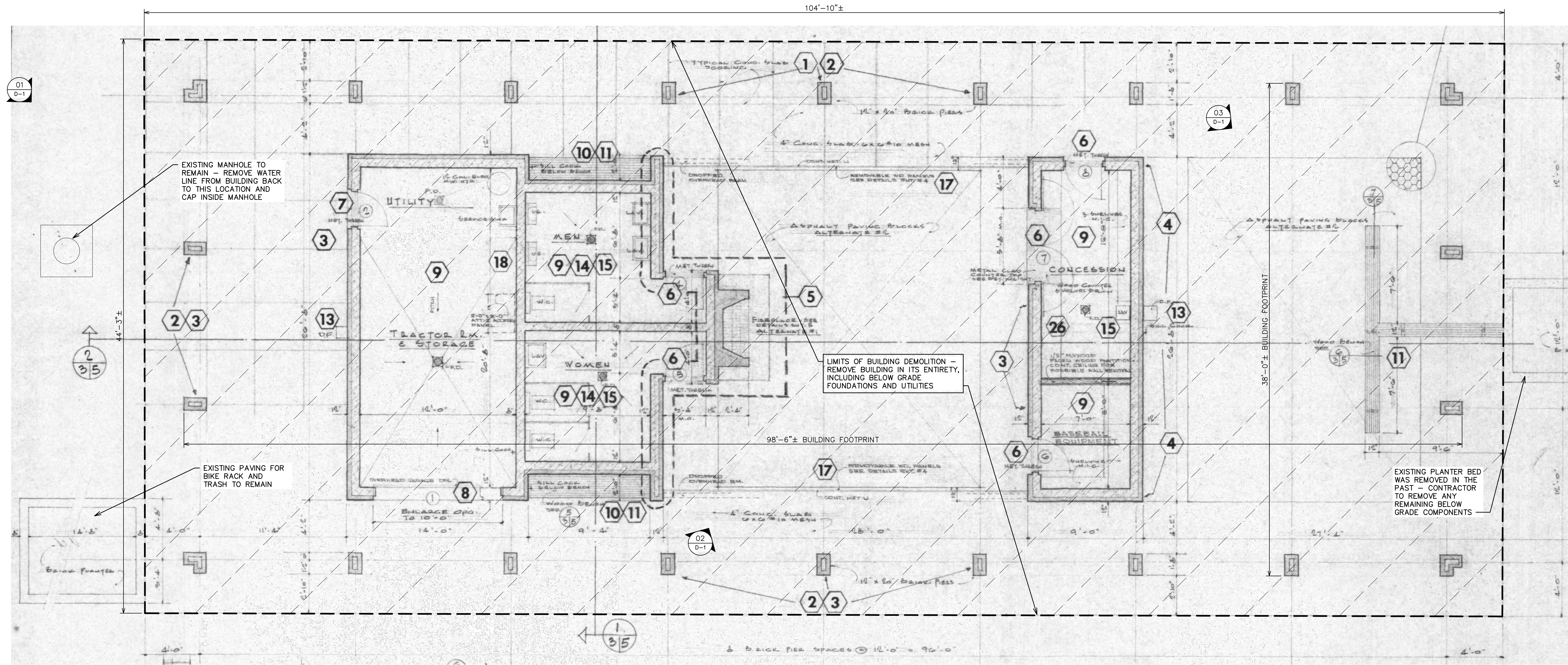


EXISTING BUILDING TO BE REMOVED IN ITS ENTIRETY

EXISTING TIMBER RETAINING WALL TO BE REMOVED - REFER TO PLAN SHEET C-1 FOR SITE REGRADING REQUIREMENTS

PHOTO NO. 04

REFER TO HAZARDOUS MATERIALS REPORT FOR INFORMATION ON ASBESTOS AND LEAD-BASED PAINT. THESE MATERIALS ARE TO BE ABATED IN ACCORDANCE WITH ALL STATE AND FEDERAL GUIDELINES (TYP.)



LIMITS OF BUILDING DEMOLITION - REMOVE BUILDING IN ITS ENTIRETY, INCLUDING BELOW GRADE FOUNDATIONS AND UTILITIES

EXISTING MANHOLE TO REMAIN - REMOVE WATER LINE FROM BUILDING BACK TO THIS LOCATION AND CAP INSIDE MANHOLE

EXISTING PAVING FOR BIKE RACK AND TRASH TO REMAIN

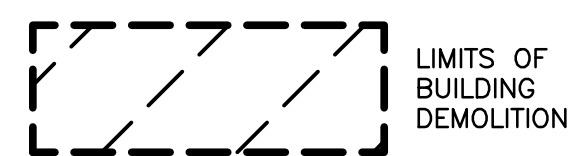
EXISTING PLANTER BED WAS REMOVED IN THE PAST - CONTRACTOR TO REMOVE ANY REMAINING BELOW GRADE COMPONENTS

**BUILDING DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"



**LEGEND**



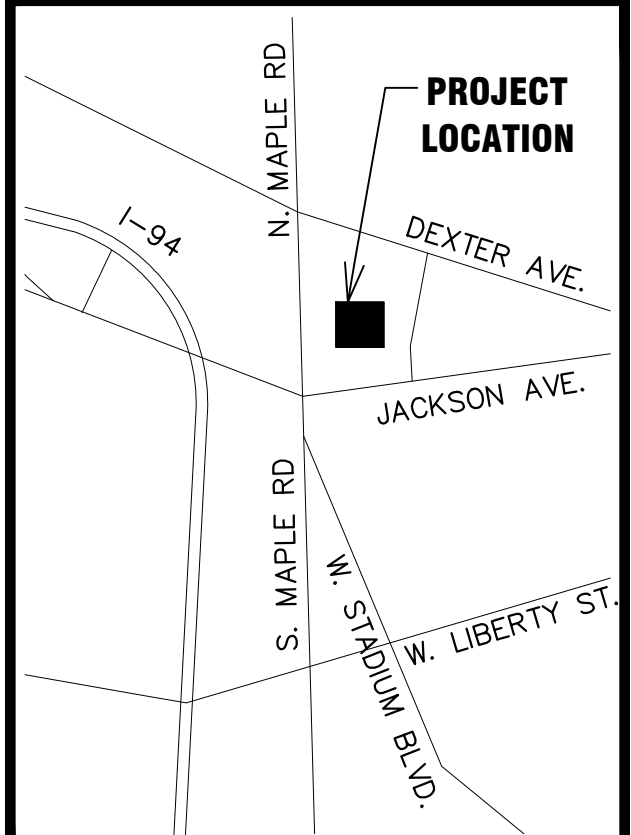
**NOTES:**

- DEMOLITION CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITY STUBS TO THE BUILDING AND COORDINATE TERMINATIONS OF LINES AT EDGE OF PROJECT AREA WITH CITY OF ANN ARBOR DPW. ALL UTILITY LINES SHALL BE REMOVED BY THE CONTRACTOR IN THEIR ENTIRETY WITHIN THE LIMITS OF DEMOLITION AREA AFTER THE LEADS HAVE BEEN CAPPED.
- DEMOLITION CONTRACTOR SHALL SUBMIT TO ENGINEER A PLAN SHOWING A 6'-0" CHAIN LINK PERIMETER FENCE AT DEMOLITION LIMITS AND A SILT FENCE FOR SOIL EROSION AND SEDIMENTATION CONTROL.
- ALL EXISTING BUILDINGS AND SITE COMPONENTS IN THE VICINITY ARE TO BE PROTECTED FROM DAMAGE.
- ALL UTILITY INFORMATION IS BASED ON REFERENCE DRAWINGS AND MUST BE FIELD VERIFIED PRIOR TO THE START OF DEMOLITION ACTIVITIES.
- CONTRACTOR IS TO PROVIDE TEMPORARY POWER AS REQUIRED.
- LEAD BASED PAINT WAS DETECTED AT THE BUILDING - IF MATERIALS WITH LEAD-BASED PAINT ON THEM ARE ABRADED OR CUT AS PART OF THE DEMOLITION PROCESS, THESE MATERIALS ARE TO BE HANDLED AND DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL GUIDELINES.
- ALL WORKERS MUST HAVE MIOSHA LEAD IN CONSTRUCTION TRAINING PRIOR TO STARTING WORK.



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DATE	ADDITIONS AND/OR REVISIONS
DESIGNED	AMM
DRAWN	AMM
CHECKED	AMM
APPROVED	JFB

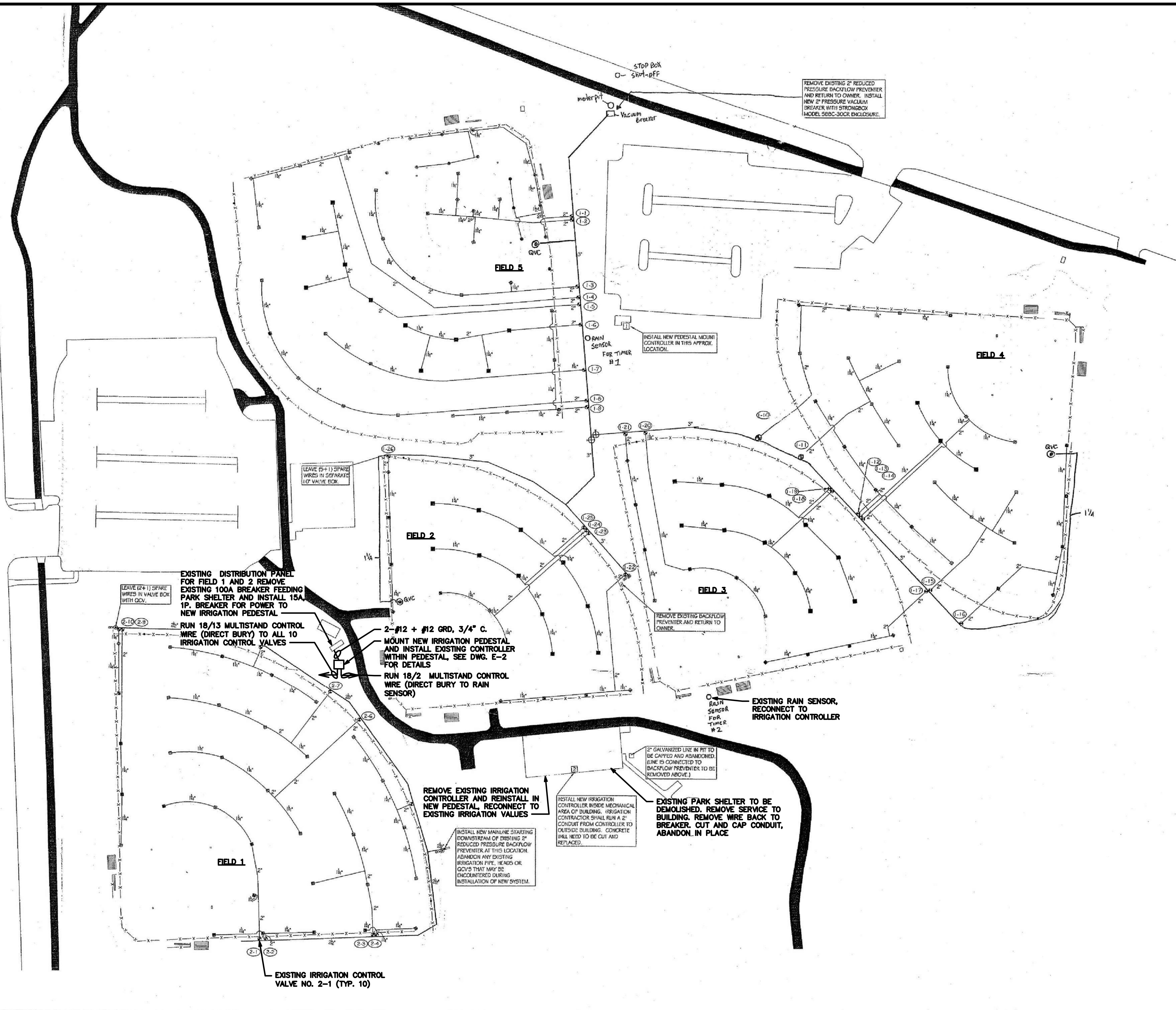


**VETERANS PARK SHELTER DEMOLITION**

**BUILDING DEMOLITION PLAN**

HRC JOB NO.	20220118	SCALE	1/4"=1'-0"
DATE	May 2022	SHEET NO.	D-1





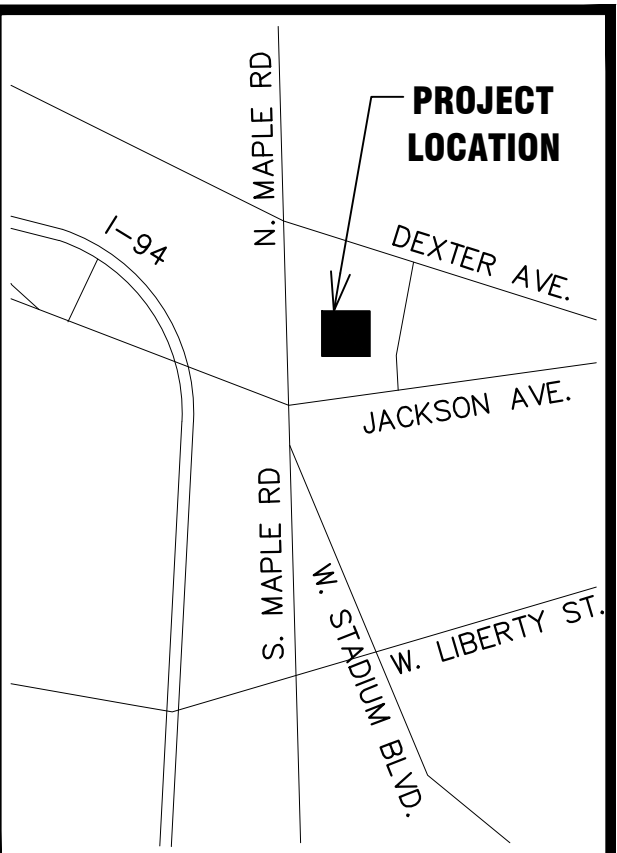
### GENERAL ELECTRICAL NOTES:

- (APPLY TO ALL DRAWINGS)
1. THE CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY CHECK THE FIELD CONDITIONS AND THE EXISTING ELECTRICAL INSTALLATION AND UTILITIES PRIOR TO SUBMITTING HIS BID.
  2. OTHER PROJECTS ARE, OR MAY BE, UNDER CONSTRUCTION AT THIS SITE, AND THIS CONTRACTOR SHALL COORDINATE WITH THEM SO AS NOT TO DELAY THEIR SCHEDULES OR IMPEDE THEIR WORK.
  3. COORDINATE ALL NEW ELECTRICAL UNDERGROUND WORK WITH NEW AND EXISTING UNDERGROUND UTILITIES BEFORE INSTALLATION. SEE DRAWINGS.
  4. ALL UNDERGROUND CONDUITS BE P.V.C. EXCEPT WHERE ENTERING STRUCTURES. UNDERGROUND CONDUITS SHALL BE RIGID GALVANIZED STEEL WITHIN 5'-0" OF THE STRUCTURE.
  5. PROVIDE WATERTIGHT HUBS AT CONDUIT ENTRANCES TO ALL ENCLOSURES MOUNTED OUTDOORS AND AT ALL NEMA TYPE 4 & 4X ENCLOSURES SHALL BE EQUIPPED WITH A DRAIN/BREATHING FITTING.
  6. ALL POWER FEEDERS SHALL BE RUN IN INDIVIDUAL CONDUITS, FROM SOURCE TO LOAD, AS INDICATED IN SCHEDULES, WIRING DIAGRAMS, OR BY HOME RUNS ON THE PLANS.
  7. GROUND CONDUCTOR SPLICING AND BONDING SHALL BE ACCOMPLISHED BY THE USE OF EXOTHERMIC WELDING.
  8. PROVIDE A GREEN GROUND CONDUCTOR IN ALL SYSTEMS CONDUITS, EXCEPT INSTRUMENT SIGNAL AND ALARM CONDUITS, INCLUDING BRANCH CIRCUIT CONDUITS FOR LIGHTING AND RECEPTACLES. GROUND CONDUCTOR SIZING SHALL BE PER N.E.C. TABLE 250.122 (MINIMUM) WHERE NOT SIZED ON THE DRAWINGS.
  9. ALL THREADED MECHANICAL CONNECTIONS ON ELECTRICAL EQUIPMENT (CONDUIT, COUPLINGS, JUNCTION BOXES, ETC.) INSTALLED OUTDOORS SHALL BE COATED WITH ANTI-SEIZE COMPOUND PRIOR TO INSTALLATION.
  10. IN AREAS WITH EXISTING TREES, THE CONTRACTOR SHALL CAREFULLY EXCAVATE THE CONDUIT RUNS SO AS NOT TO DAMAGE MAIN ROOTS OF TREES. DO NOT CUT OR REMOVE MAIN ROOTS OF TREES, BUT RUN CONDUIT AROUND ROOTS AS MAY BE REQUIRED BY FIELD CONDITIONS.
  11. IN AREAS WHERE ELECTRICAL WORK DISTURBS EXISTING SOD, GROUND SHALL BE REGRADED AS REQUIRED AND SOD SHALL BE REPAIRED OR REPLACED, AS REQUIRED, TO RETURN THE SITE TO A CONDITION MEETING OR EXCEEDING THAT PRIOR TO THE BEGINNING OF WORK.
  12. ALL SALVAGED MATERIALS SHALL BE TURNED OVER TO THE OWNER OR DISPOSED OF AS DIRECTED BY THE OWNER.



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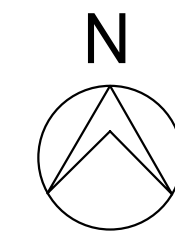
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DESIGNED	MJR
DRAWN	KLB
CHECKED	MJR
APPROVED	JFB



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### EXISTING ELECTRICAL SITE PLAN WITH PROPOSED MODIFICATIONS

N.T.S.



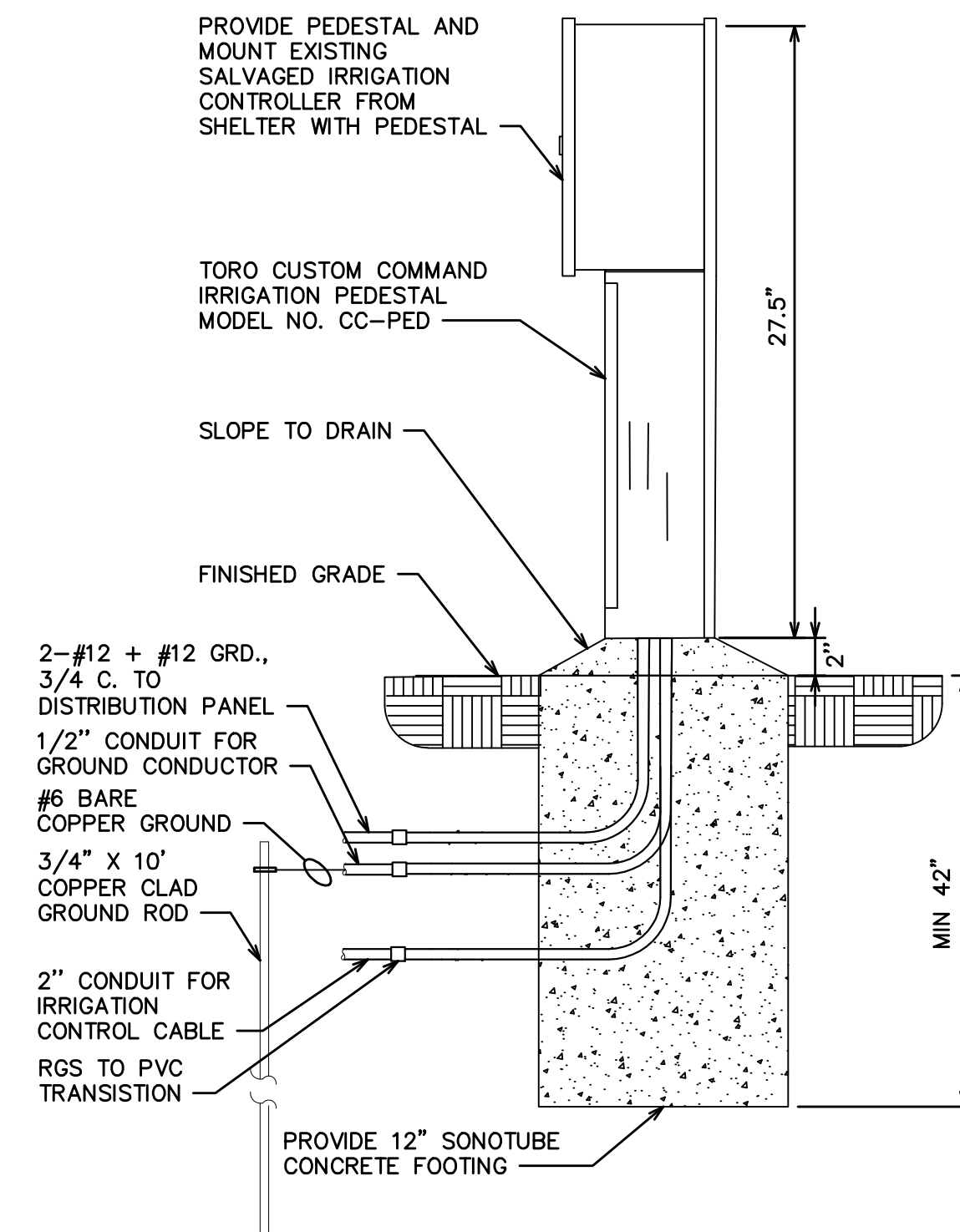
ELECTRICAL QUANTITIES THIS SHEET		
DESCRIPTION	QTY	UNIT
Ball Diamond New Irrigation Piping and System Updates	1	LSum
Ball Diamond New Irrigation System Controls and Electrical	1	LSum

**VETERANS PARK SHELTER DEMOLITION**

ELECTRICAL SITE PLAN

HRC JOB NO. 20220118 SCALE N.T.S.  
 DATE May 2022 SHEET NO. E-1





**NEW IRRIGATION CONTROLLER PEDESTAL DETAIL**  
N.T.S.

NOTE: LOCATE NEW IRRIGATION CONTROLLER PEDESTAL AS SHOWN ON SHEET E-1. COORDINATE EXACT LOCATION WITH PARK STAFF.



PHOTO 1

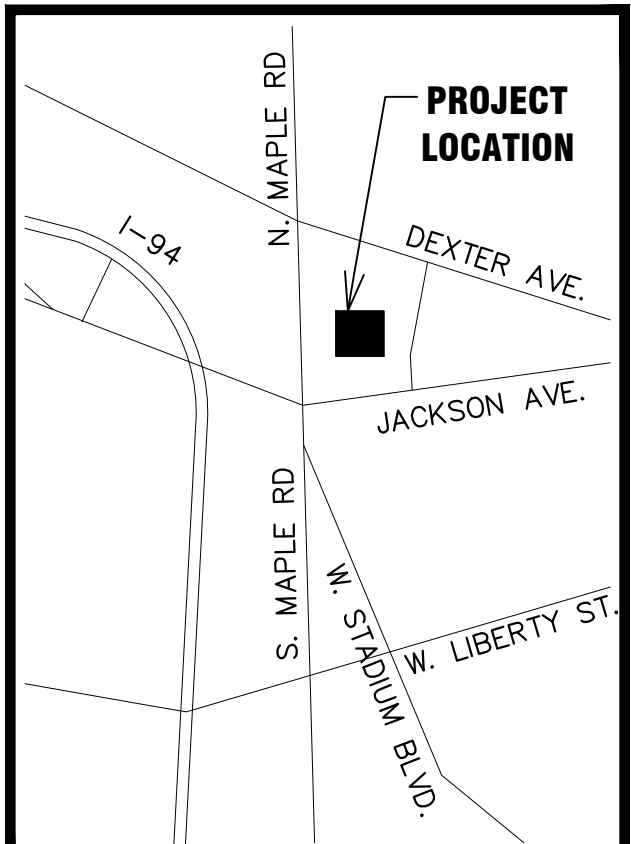


PHOTO 2



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CHECKED	MJR
APPROVED	JFB



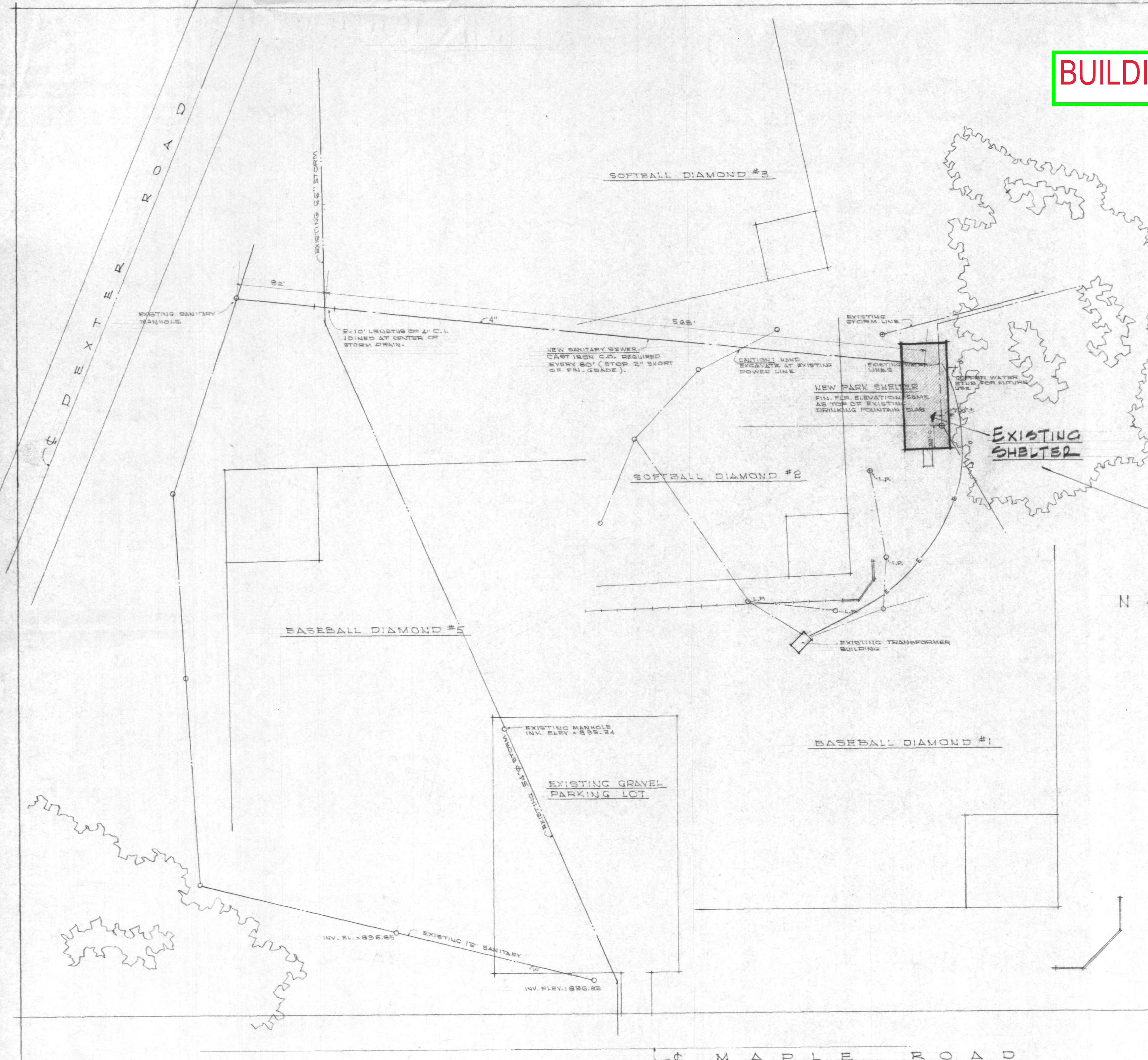
**VETERANS PARK SHELTER DEMOLITION**

**ELECTRICAL DETAILS**

HRC JOB NO. 20220118	SCALE N.T.S.
DATE May 2022	SHEET NO. <b>E-2</b>



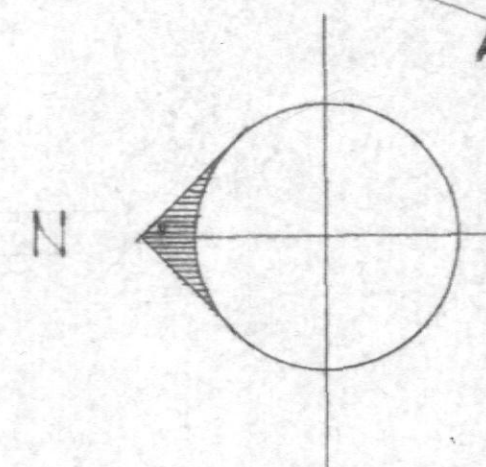
**BUILDING REFERENCE DRAWINGS**



INDEX TO DRAWINGS

1. PLOT PLAN
  2. FOUNDATION & FOOTING PLAN
  3. FLOOR PLAN
  4. ELEVATIONS & DETAILS
  5. BUILDING SECTIONS & DETAILS
  6. ROOF FRAMING PLAN
  7. MECHANICAL & ELECTRICAL PLAN
- SPECIFICATIONS
8. GENERAL CONDITIONS, EXCAVATING & GRADING, CONCRETE, MASONRY, STRUCT. & MISC. METALS, CARPENTRY & MILLWORK.
  9. ROOF & SHEET MET., HOLLOW MET. FRAMES, TOILET PARTITIONS, ASPHALT PAVED, PAINTING & CAULKING, PLUMBING
  10. ELECTRICAL

**NOTE:** CONTRACTOR SHALL CONSULT THE REVISED SPECIFICATIONS FOR CHANGES AND ADDITIONS TO ABOVE ORIGINAL SPECS.  
SEE SHT. 2 FOR KEY TO NEW WORK TO BE DONE ON EXISTING BUILDING.



D  
4  
0  
X  
U  
4  
5  
F

REVISED PLOT PLAN SCALE 1" = 50'-0"

REVISED - APRIL 23, 1971  
REVISED - AUG. 17, 1963

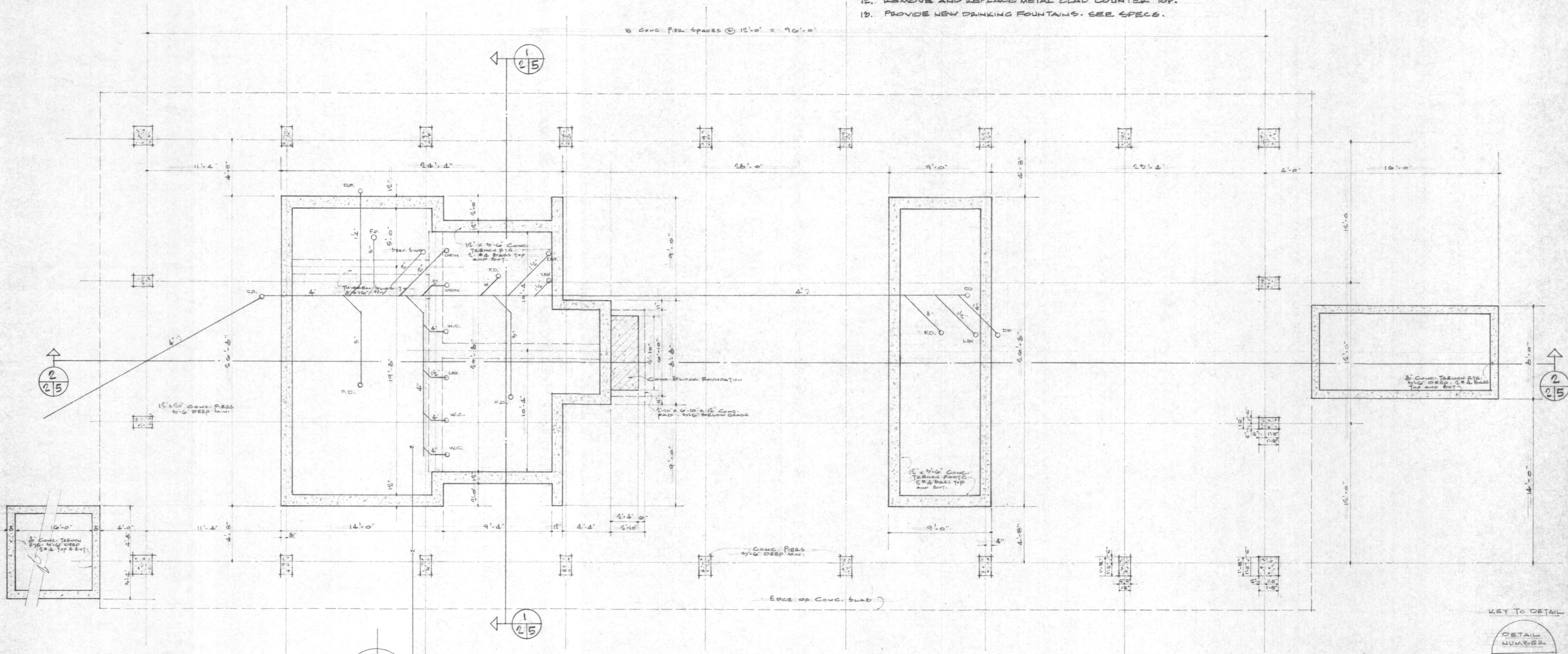
PROJECT <b>RENOVATIONS TO VETERANS PARK SHELTER</b> ANN ARBOR, MICHIGAN	OWNER <b>CITY OF ANN ARBOR</b>	ARCHITECT <b>JAMES P. WONG &amp; ASSOC.</b> 2378 E. STADIUM BLVD. ANN ARBOR, MICHIGAN	JOB #0463 <b>1</b>
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# KEY TO NEW WORK TO BE DONE ON EXISTING BUILDING

NOTE: (3) INDICATES NUMBERS ON DRAWINGS CORRESPONDING TO THE FOLLOWING NUMBERED ITEMS.

1. REMOVE AND REPLACE APPROX. 1/2 OF DAMAGED BRICK PIER.
2. RESET, LEVEL AND REGROUT EXISTING WOOD BEAM ANCHORS.
3. REMOVE AND REPLACE CHIPPED AND DAMAGED BRICKWORK.
4. REMOVE TOP 2" OF MASONRY WALL AND REPLACE INCLUDING WOOD PLATE ANCHOR BOLTS.
5. REMOVE AND REPLACE ENTIRE BRICK AND BLOCK WALLS INCLUDING CHIMNEY AND FIREPLACE. LIMITS OF DEMOLITION ARE APPROXIMATE AND MASON SHALL USE HIS DISCRETION TO FACILITATE KEYING IN HIS WORK.
6. REMOVE EXISTING DOORS AND FRAMES AND REPLACE WITH NEW. SEE DOOR SCHED. AND SPECS.
7. SAND AND REFINISH EXISTING DOOR AND FRAME.
8. ENLARGE EXISTING MASONRY OPENING AND FINISH NEW LINTEL, OVERHEAD DOOR AND FRAME.
9. STEAM CLEAN, OR USE OTHER METHOD AS NECESSARY TO CLEAN EXISTING MASONRY WALLS.
10. RESET SECURELY BENCH ANCHOR SUPPORTS.
11. REPLACE EXISTG. WOOD BENCHES WITH CONCRETE TYPE AS DETAILED.
12. REMOVE AND REPLACE METAL CLAD COUNTER TOP.
13. PROVIDE NEW DRINKING FOUNTAINS. SEE SPECS.
14. REMOVE EXISTING TOILET PARTITIONS AND REPLACE WITH NEW. SEE SPECS.
15. REMOVE ALL EXISTG. PLUMBING FIXTURES AND REPLACE WITH NEW.
16. PROVIDE ENTIRE NEW ROOF STRUCTURE INCLUDING WOOD SUPPORTING BEAMS, TRUSSES, SHINGLES, FASCIA, ANCHORS, BLOCKING, LOWNERS AND ALL NECESSARY MATERIALS AND LABOR AS REQUIRED.
17. PROVIDE 14 NEW REMOVABLE WALL PANELS AS SHOWN AND SPECIFIED.
18. PATCH DAMAGED WATER LINE AS REQUIRED.
19. PROVIDE ALL NEW LIGHTING FIXTURES AS INDICATED IN LIGHTING SCHEDULE AND AS SPECIFIED.
20. PROVIDE NEW WALL OUTLET AND WIRING AS REQ'D.
21. PROVIDE NEW ELECTRIC SPACE HEATING EQUIPM'T. WHERE SHOWN AND AS SPECIFIED.
22. PROVIDE NEW EXHAUST FAN AS SPECIFIED.
23. PROVIDE NEW SWITCHES AND WIRING.
24. PROVIDE NEW ELECT. HOT WATER HEATER.
25. PROVIDE NEW LIGHT PANEL AND SAFETY SWITCH.
26. PROVIDE WOOD COUNTERTOPS THROUGHOUT.



FOOTING & FOUNDATION PLAN SCALE 1/4"

NOTE: PLUMBING SHOWN IS SCHEMATIC.

KEY TO DETAIL

DETAIL NUMBER	LOCATION SHEET	DETAIL SHEET
(3)		

REVISED APRIL 23, 1971

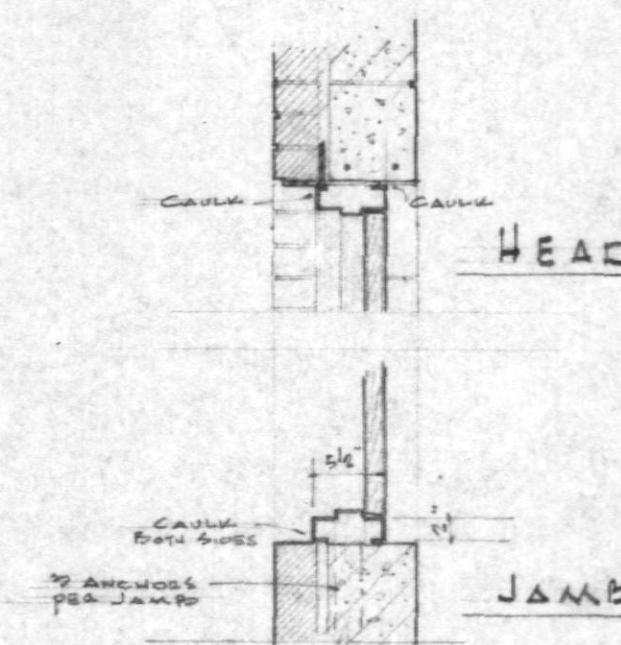
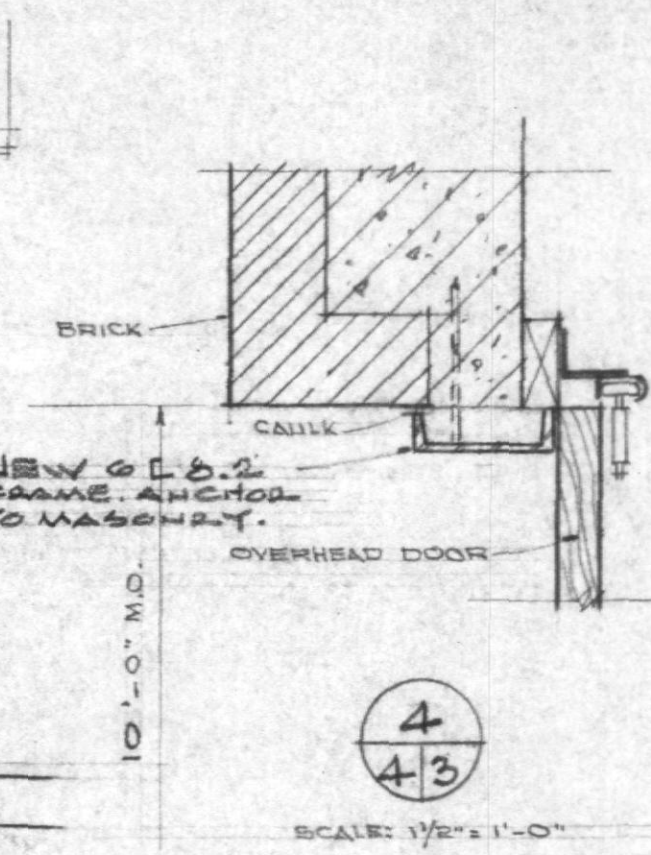
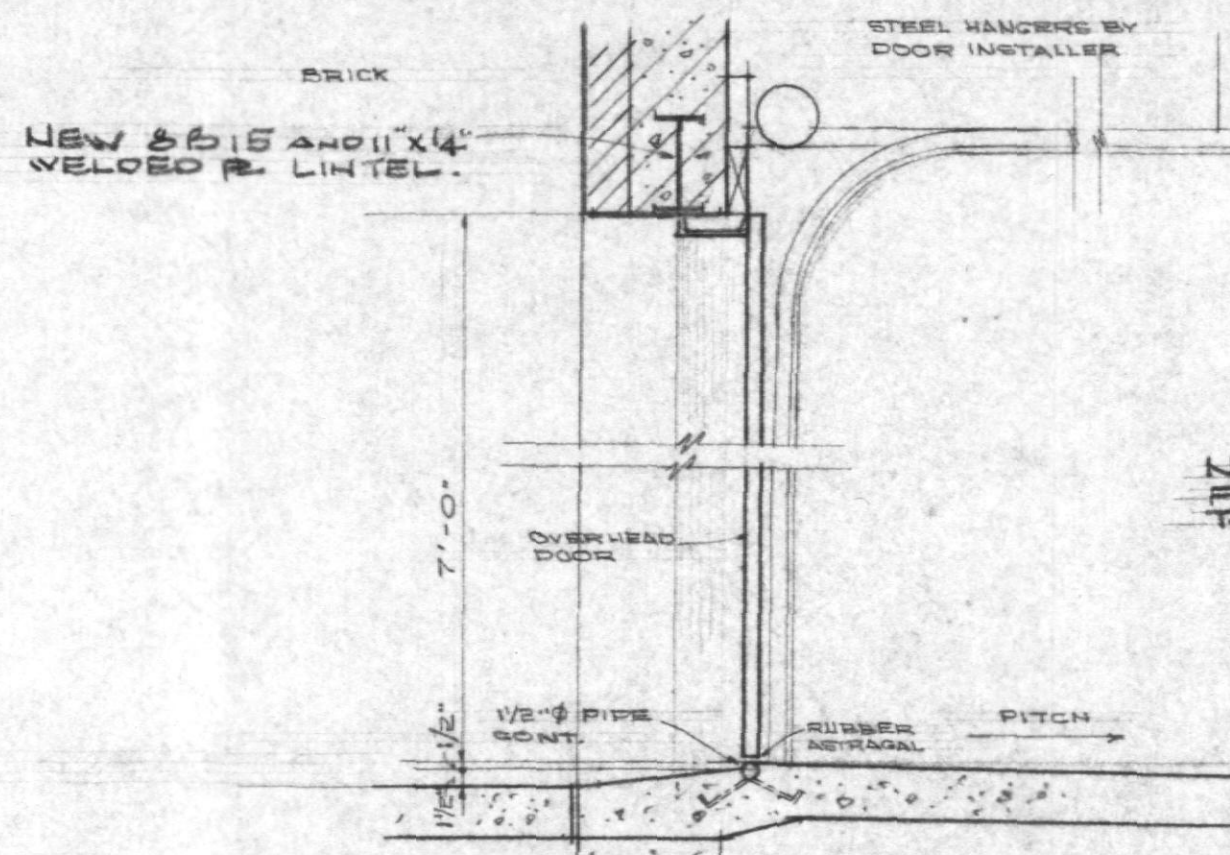
PROJECT <b>RENOVATIONS TO VETERANS PARK SHELTER</b> ANN ARBOR, MICHIGAN	OWNER <b>CITY of ANN ARBOR</b>	ARCHITECT <b>JAMES P. WONG ASSOC.</b> 2378 E. STADIUM BLVD. ANN ARBOR, MICHIGAN	JOB No. 0463 DATE 6-27-68
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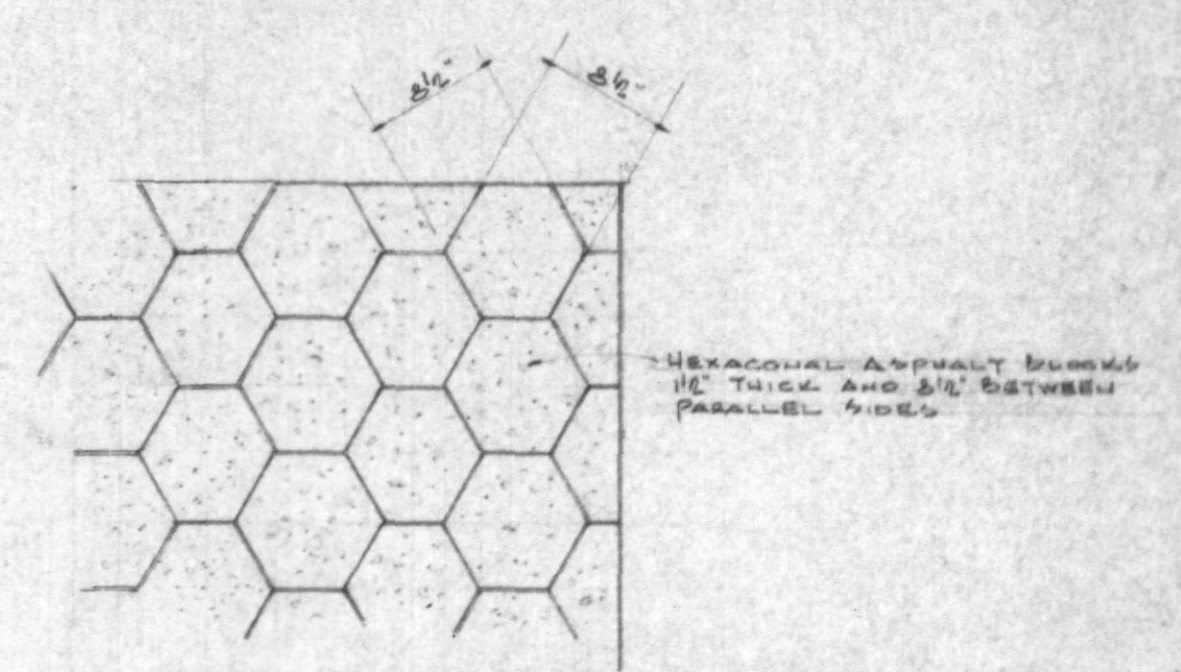
DOOR SCHEDULE

No.	SIZE	TYPE	FRAME	REMARKS
1	10'-0" x 7'-0" x 1 1/2"	OVERHEAD WOOD	STEEL TEE POST	SEE ELEVATION EXT. NO. 4
2	6'-6" x 7'-0" x 1 1/2"	FLUSH WOOD	HOLLOW METAL	SEE DET. THIS SET.
4	3'-0" x 7'-0" x 1 1/2"	FLUSH HOLLOW MET.	HOLLOW MET.	do
5	do	do	do	do
6	do	do	do	do
7	6'-6" x 7'-0" x 1 1/2"	do	do	SEE ELEV. AND DET. EXT. NO. 3
8	3'-0" x 7'-0" x 1 1/2"	do	do	do

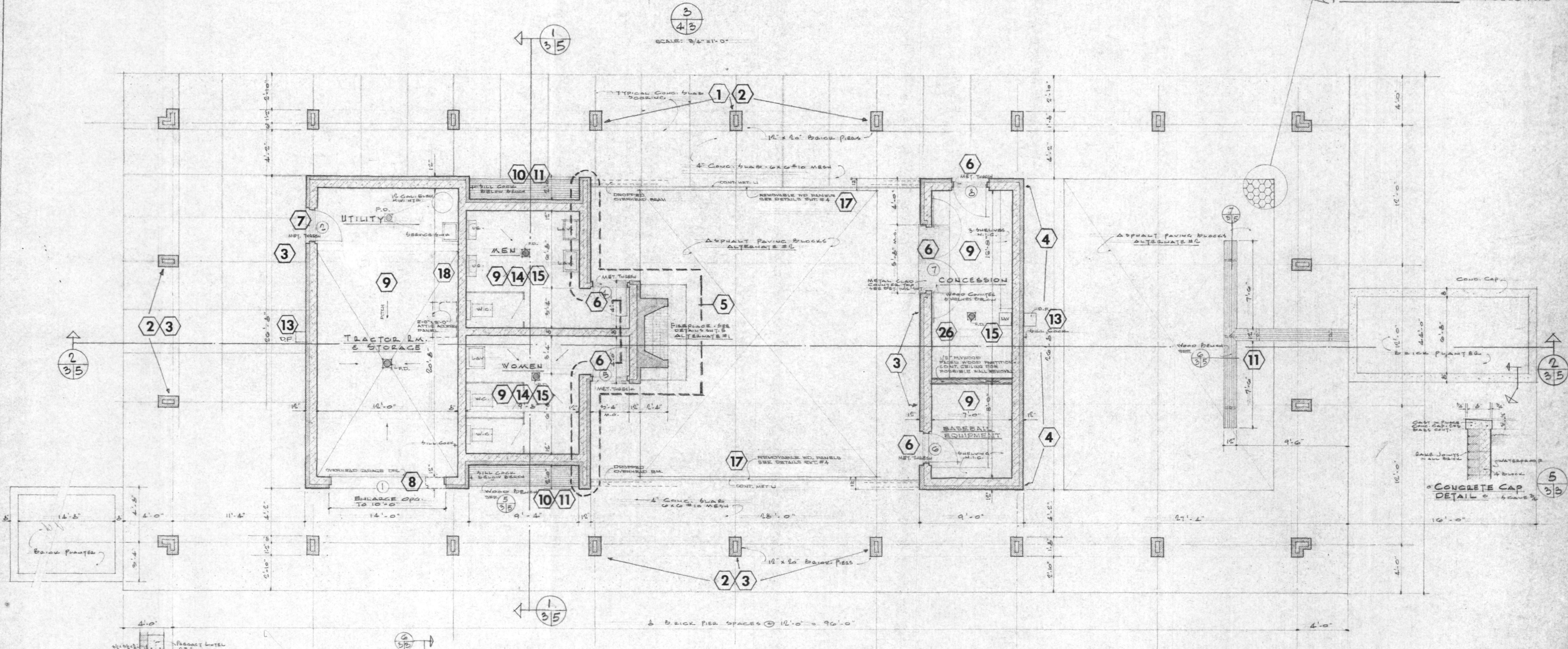
METAL THRESHOLDS FOR ALL DOORS EXCEPT NO. 1, 2, 7.  
 INCLUDE IN HARDWARE AND FINISHES  
 NOTE - ALL DOORS #1 THROUGH #8 SHALL HAVE PRECAST CONC. LINTELS 6" x 6" WITH 2#4  
 BARS AND 3/4" x 1/4" x 1/2" L BRICK LINTEL.



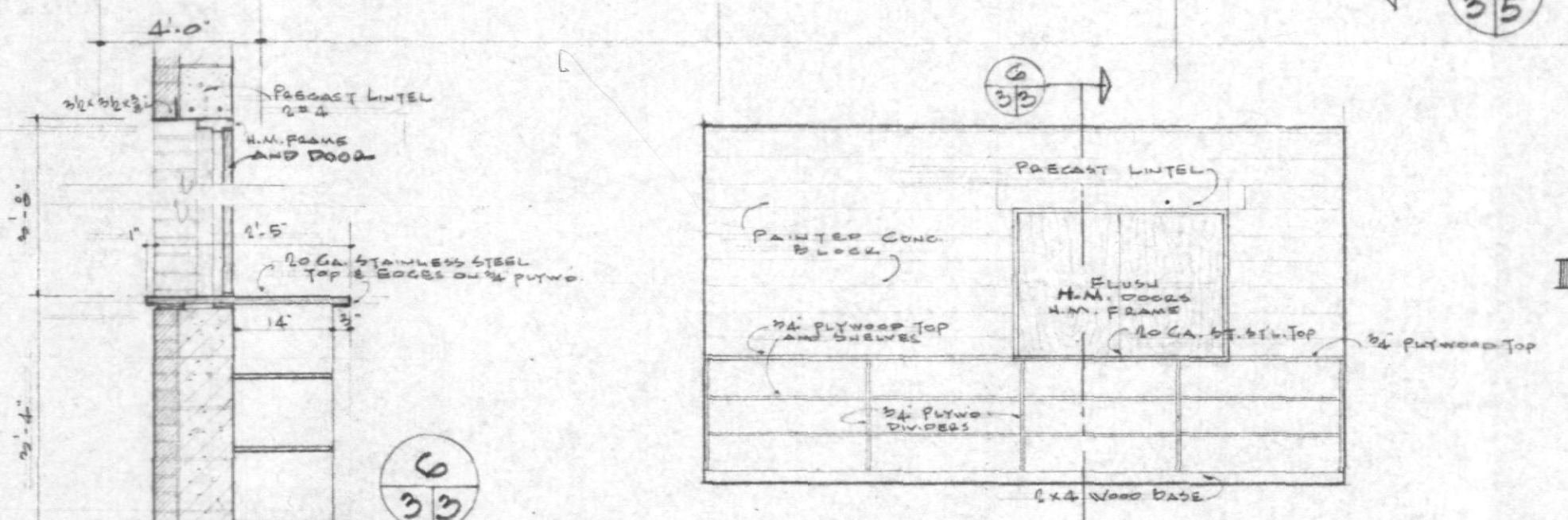
TYPICAL HOLLOW METAL FRAME DETAIL - SCALE 3/4" = 1'-0"



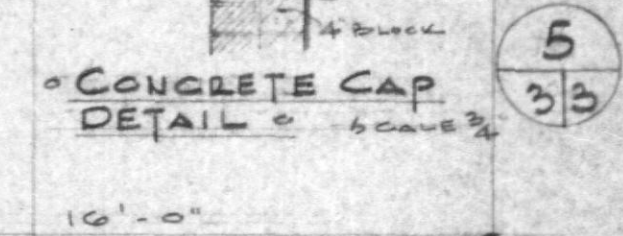
DETAIL PLAN OF ASPHALT PAVING BLOCKS - SCALE 1/2" = 1'-0"



FLOOR PLAN - SCALE 1/4" = 1'-0"



ELEVATION & DETAILS OF CONCESSION COUNTER - SCALE 1/2" = 1'-0"



CONCRETE CAP DETAIL - SCALE 3/4" = 1'-0"

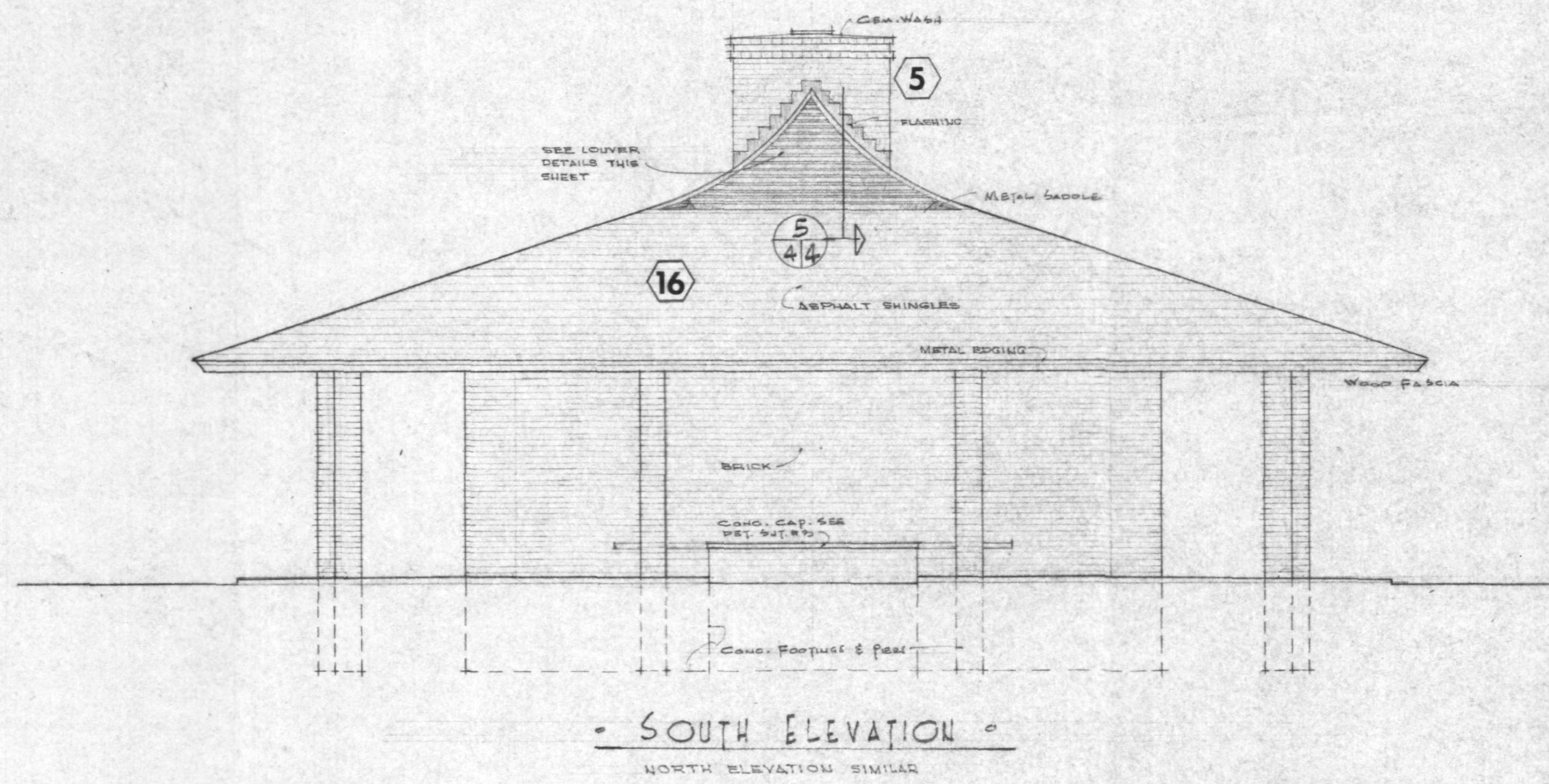
KEY TO DETAILS

DETAIL NUMBER	LOCATION	DETAIL
1	DOOR	DOOR
2	DOOR	DOOR
3	DOOR	DOOR
4	DOOR	DOOR
5	DOOR	DOOR
6	DOOR	DOOR

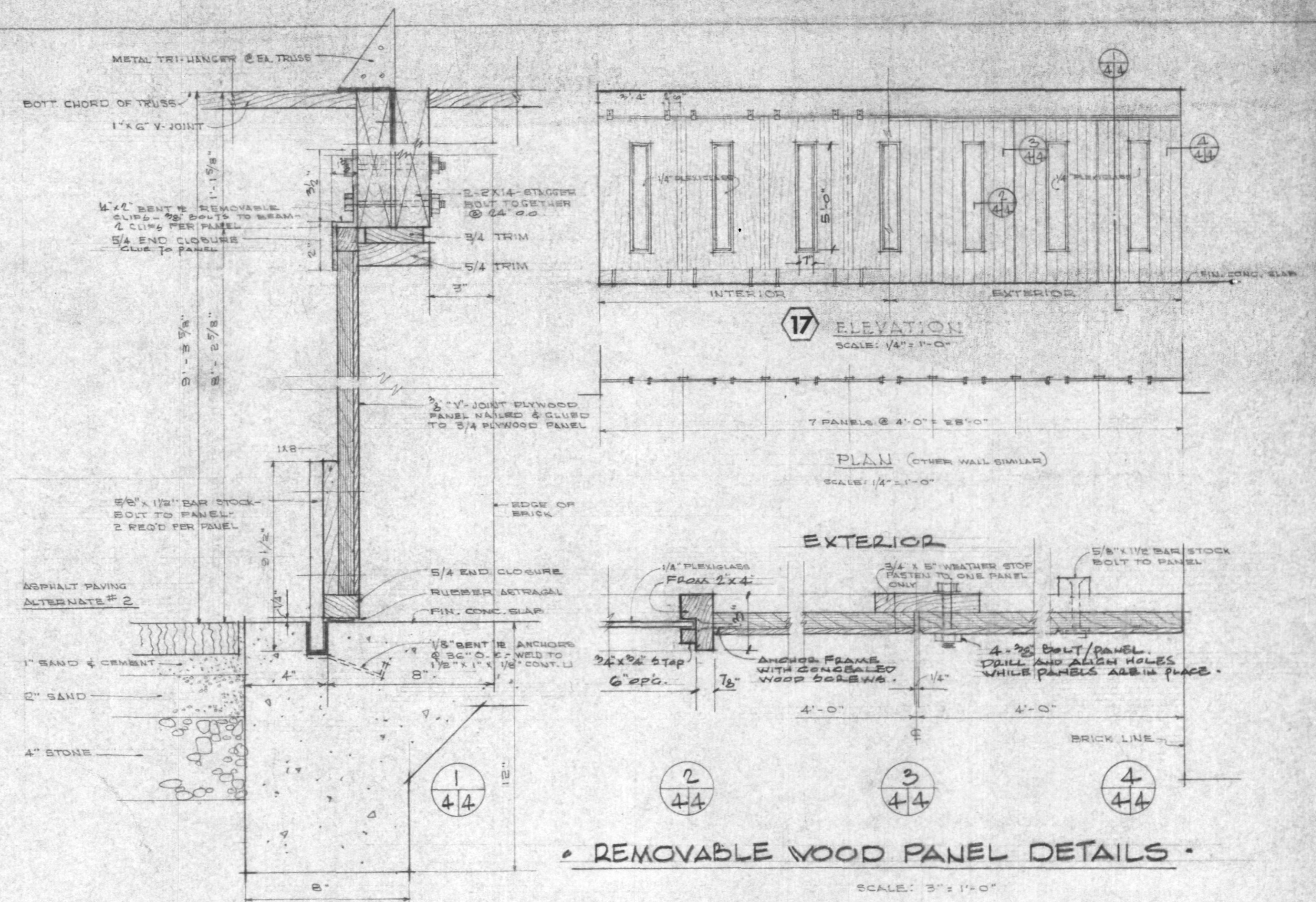
PROJECT VETERANS PARK SHELTER ANN ARBOR, MICHIGAN	OWNER CITY OF ANN ARBOR	ARCHITECT JAMES P. WONG & ASSOC. 2376 E. STADIUM BLD. ANN ARBOR, MICHIGAN	Job No. 0409 DATE 6-29-69 <b>3</b>
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REVISED APRIL 23, 1971

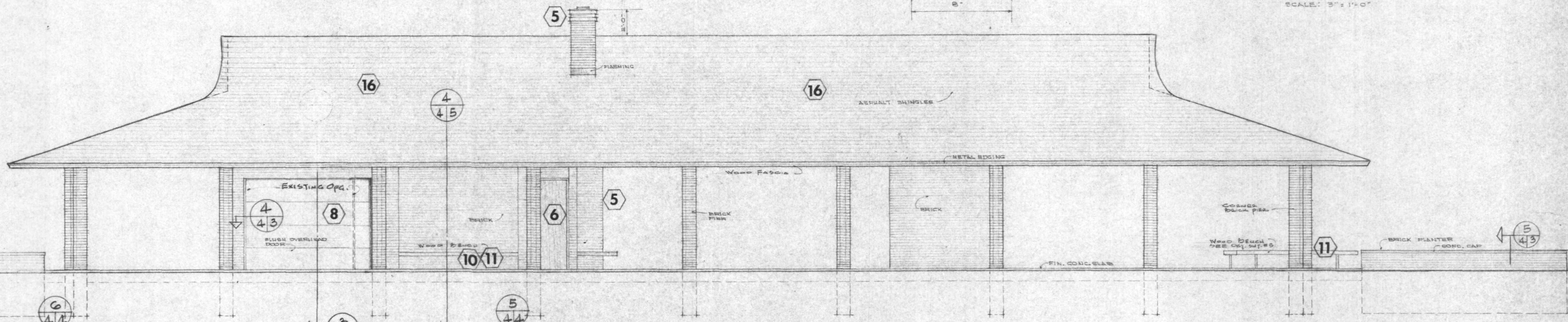




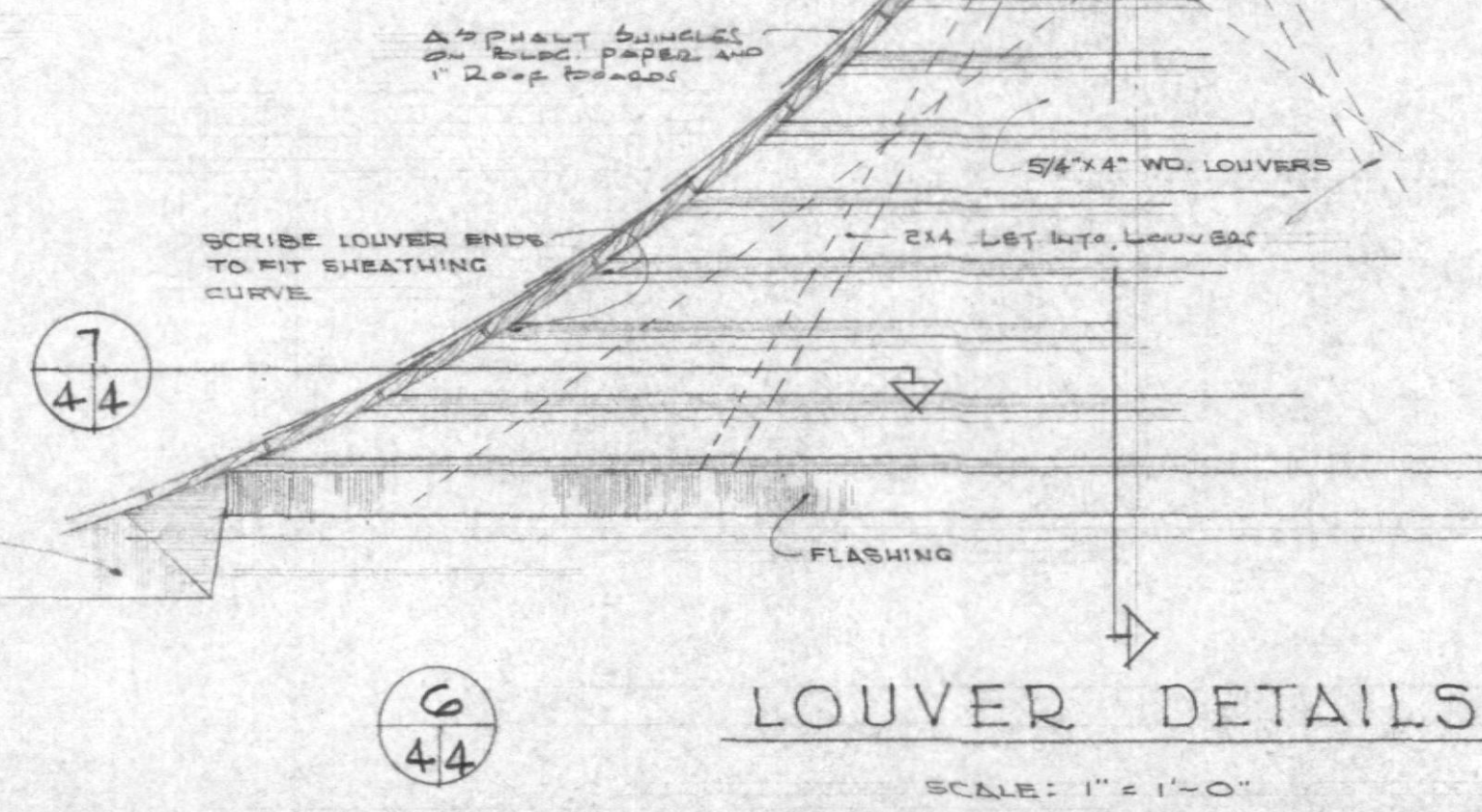
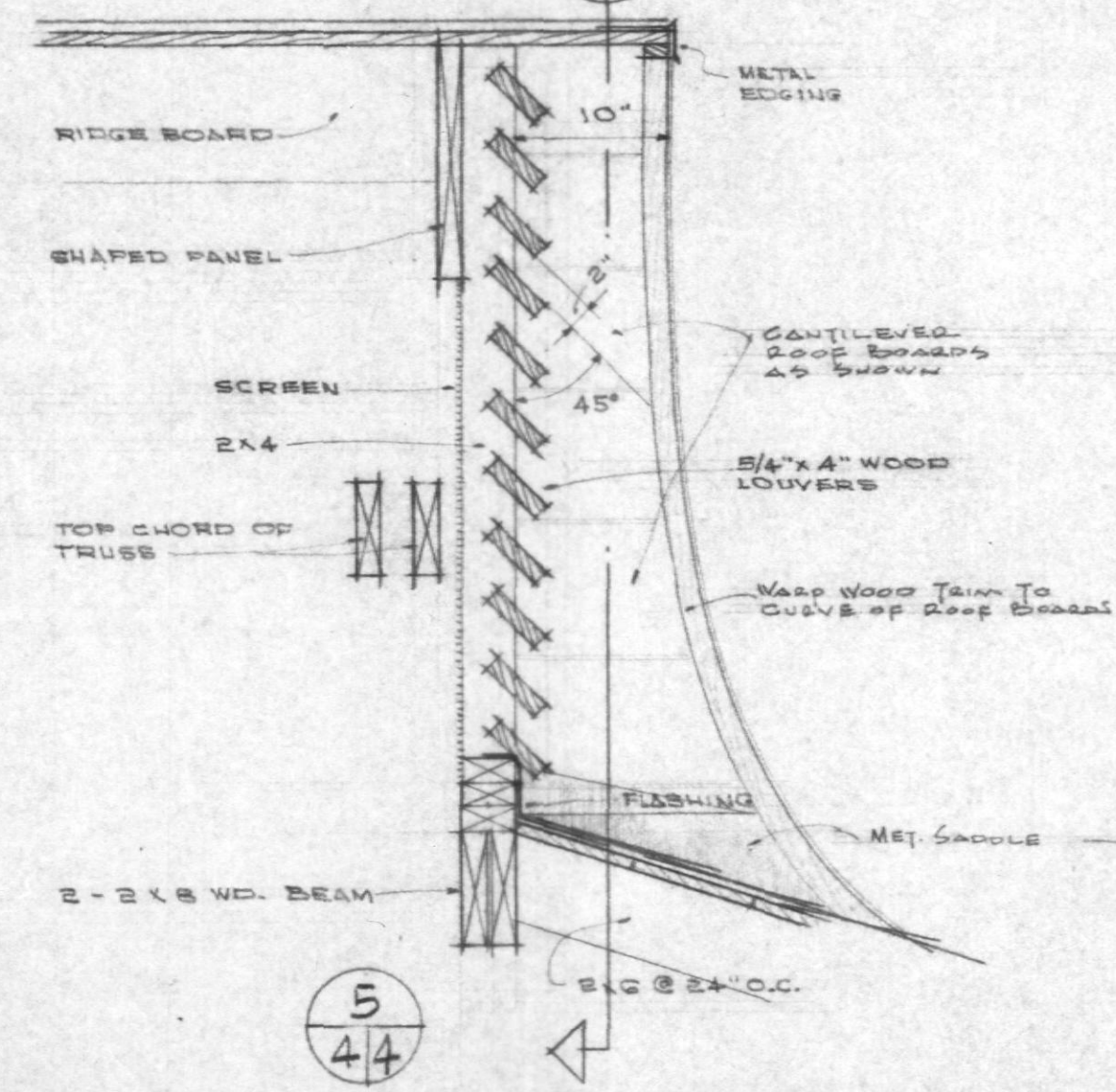
• SOUTH ELEVATION •  
NORTH ELEVATION SIMILAR



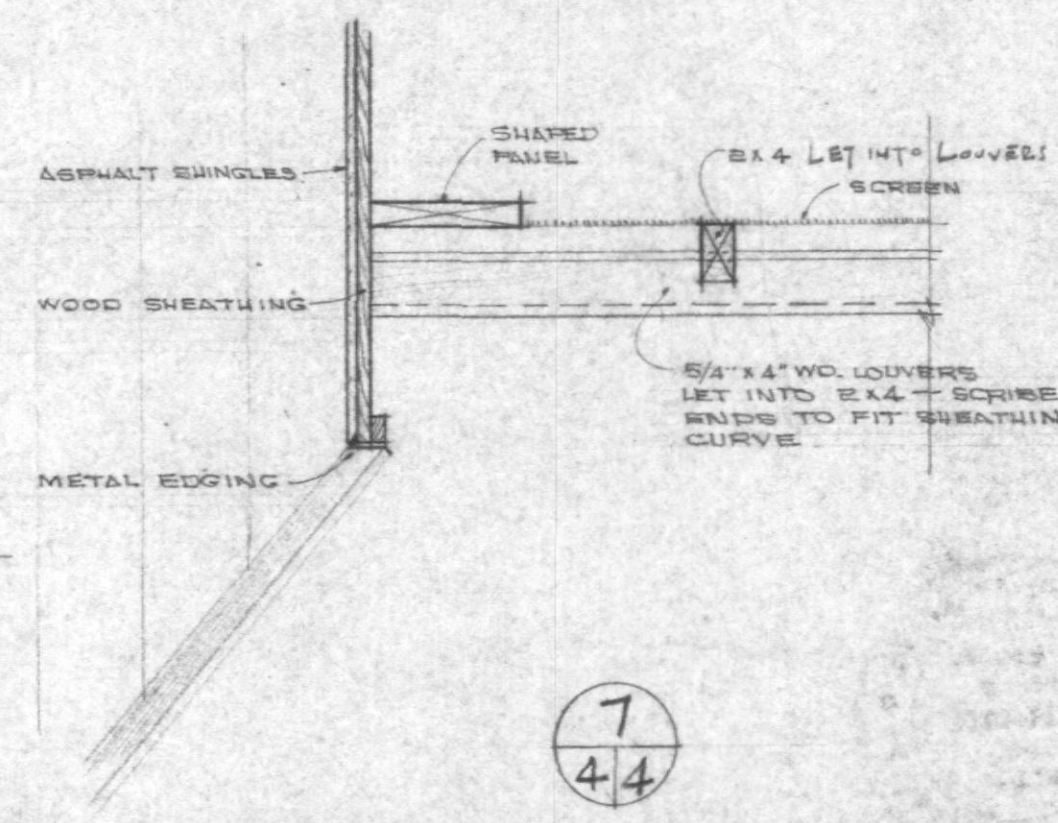
• REMOVABLE WOOD PANEL DETAILS •  
SCALE: 3/8\"/>



• WEST ELEVATION •  
EAST ELEVATION SIMILAR  
SCALE 1/4\"/>



LOUVER DETAILS  
SCALE: 1\"/>



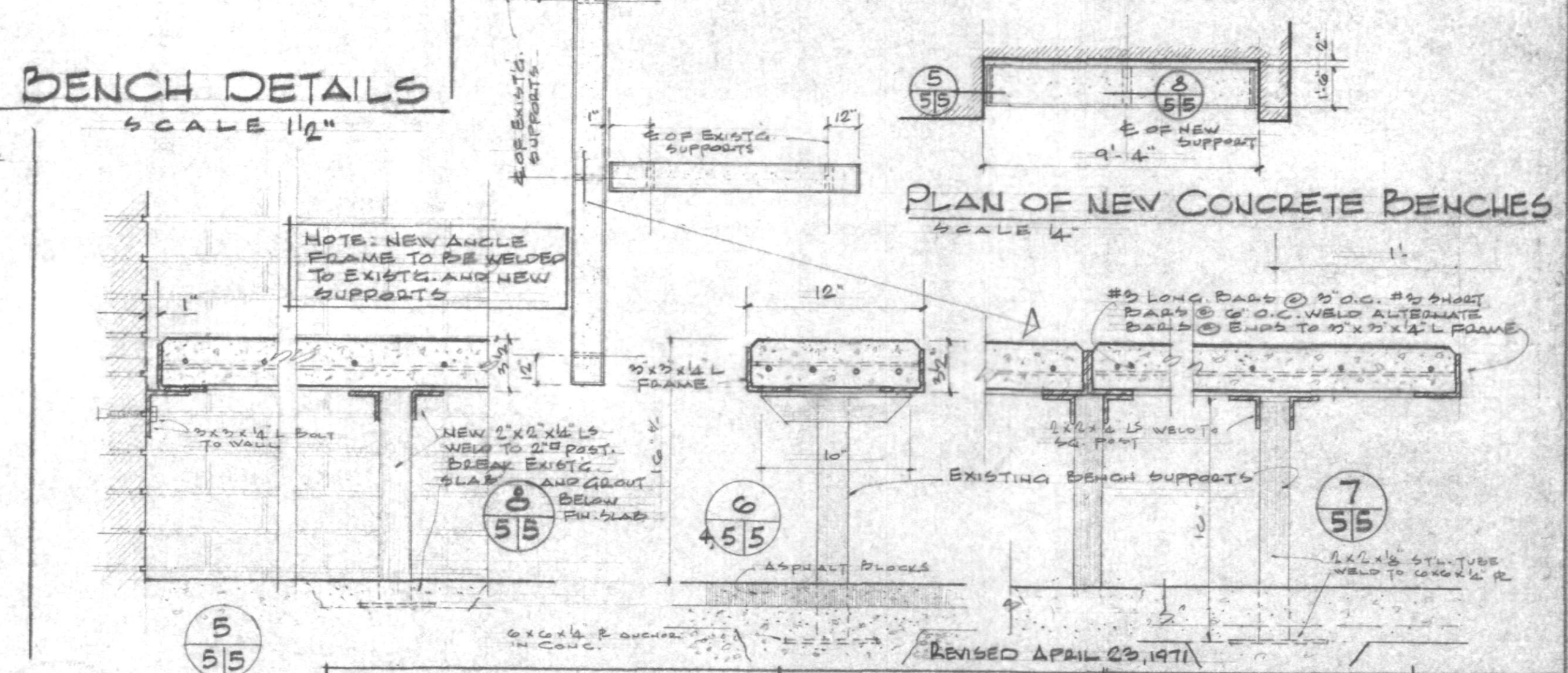
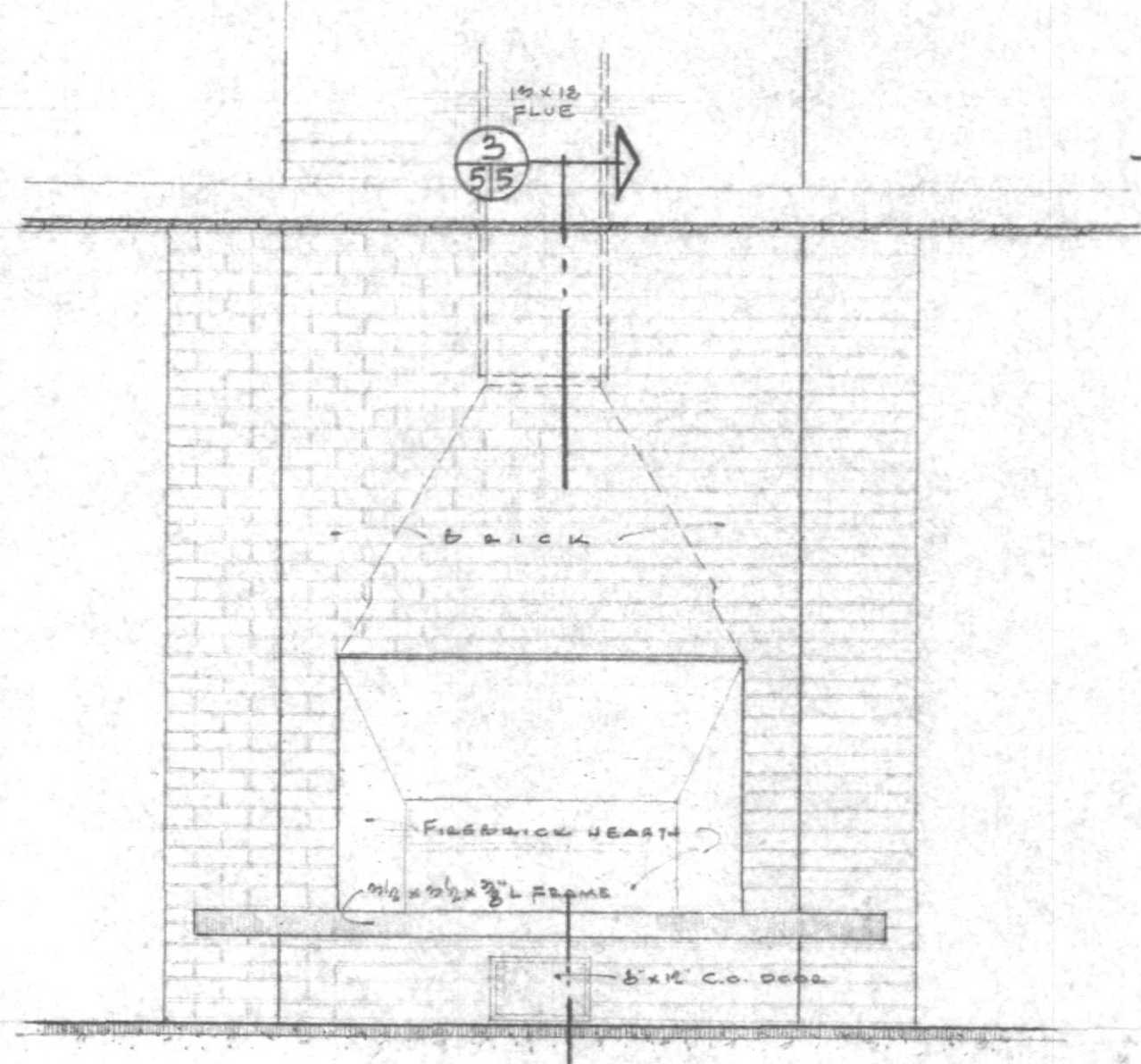
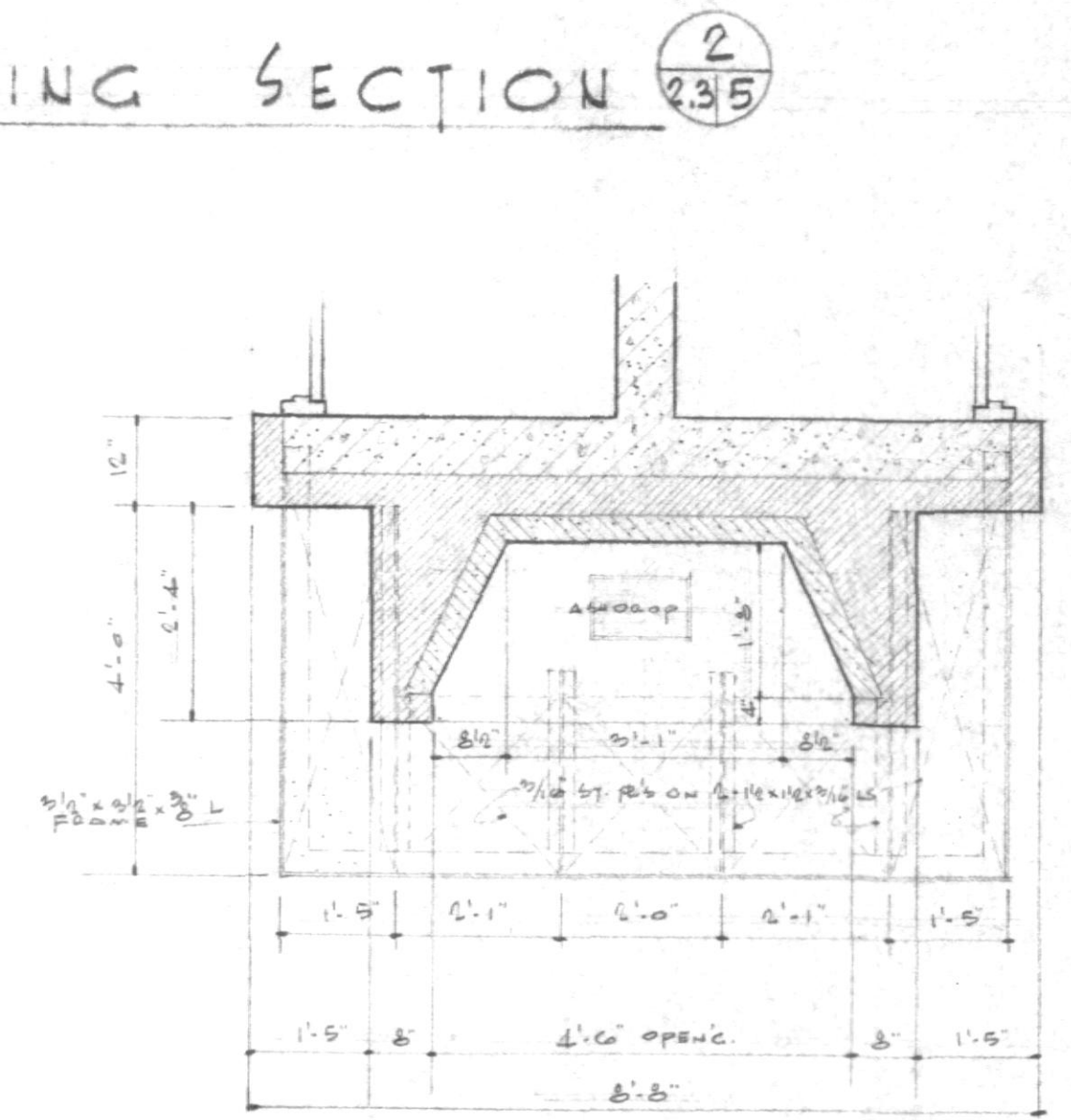
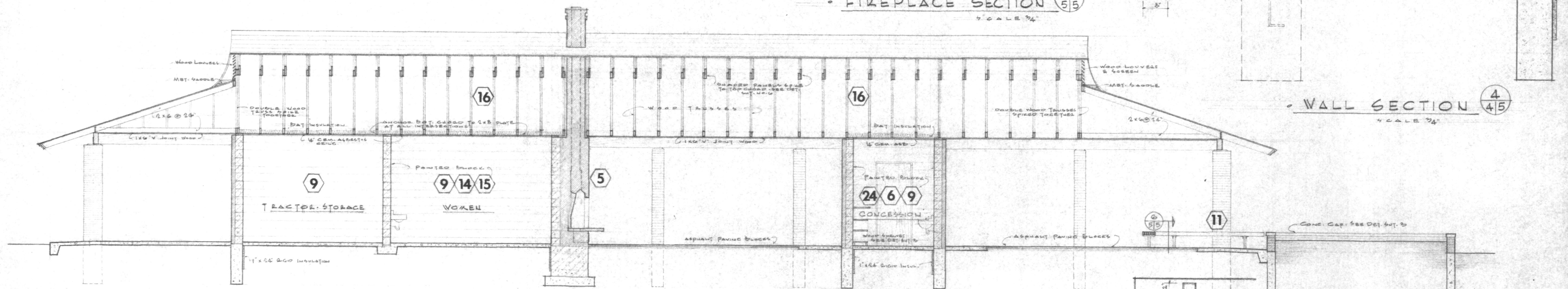
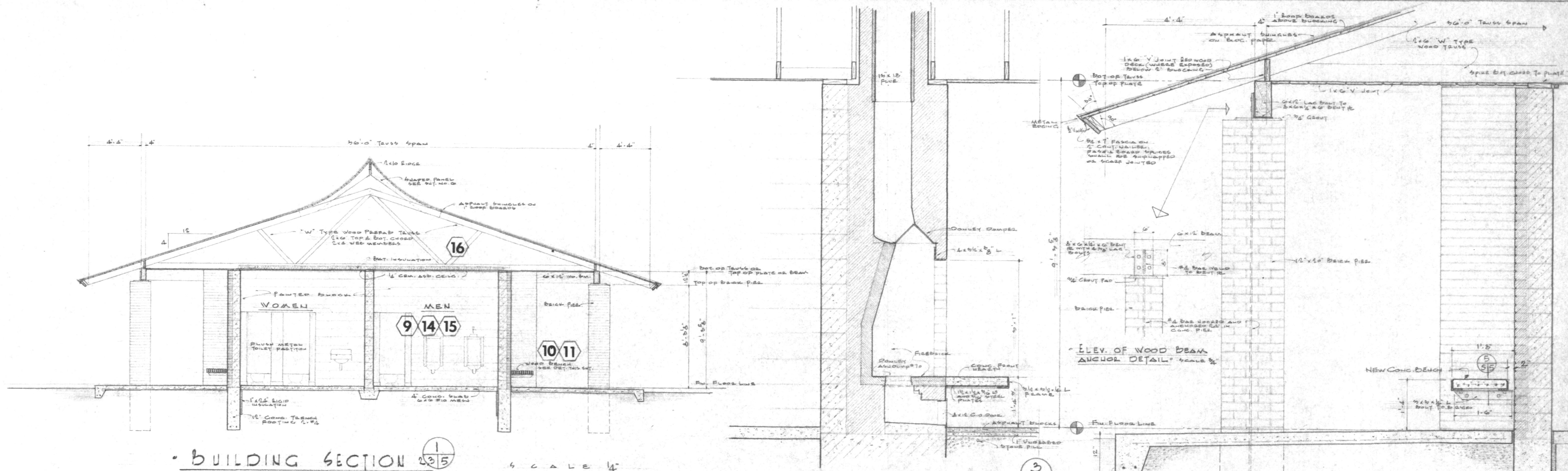
KEY TO DETAILS

DETAIL NUMBER	
LOCATION	DETAIL SHEET

REVISED APRIL 23, 1971

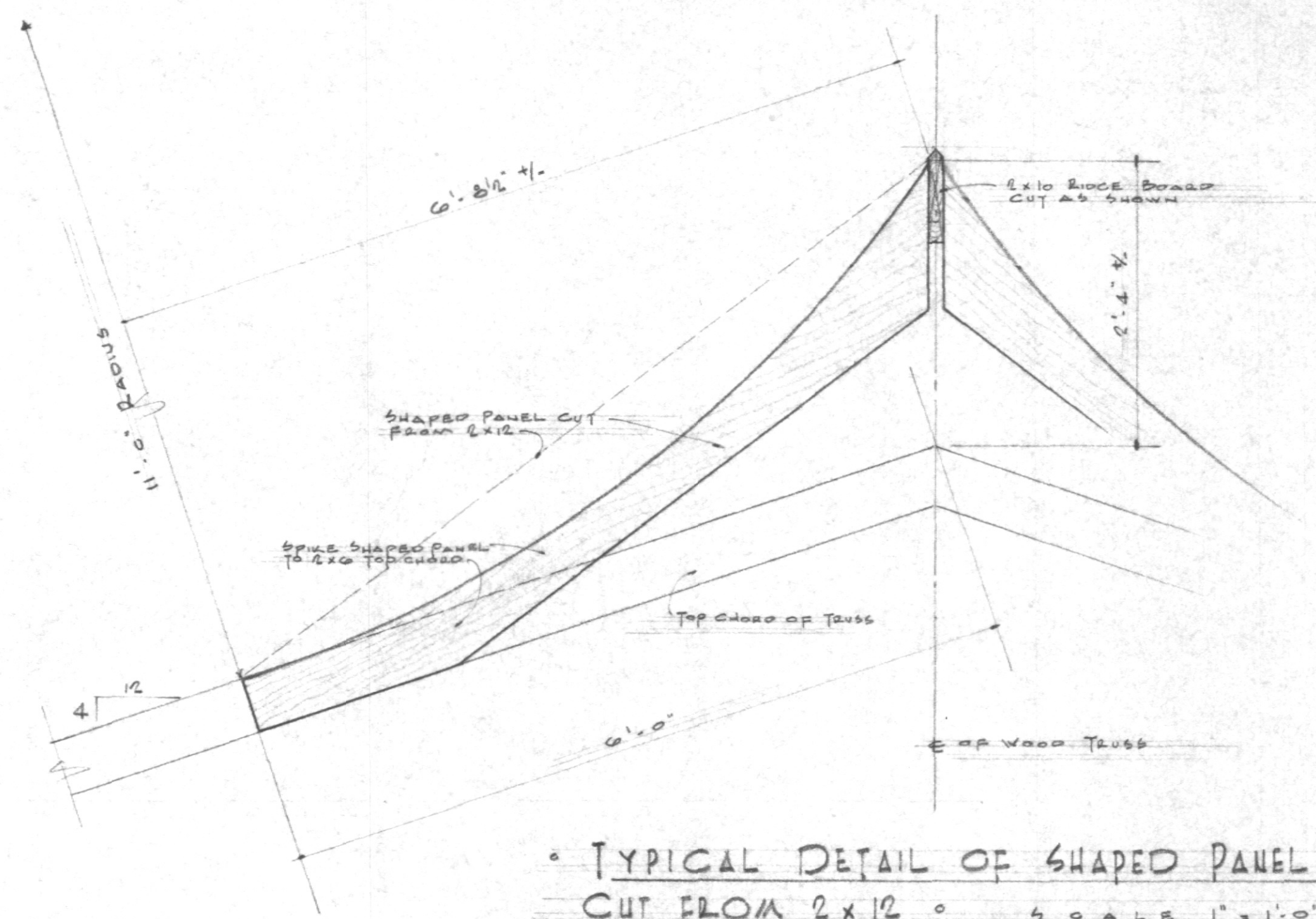
PROJECT RENOVATIONS TO VETERANS PARK SHELTER ANN ARBOR, MICHIGAN	OWNER CITY OF ANN ARBOR	ARCHITECT JAMES P. WONG & ASSOC. 1875 E. STADIUM BLVD. ANN ARBOR, MICHIGAN	Job No. 0288 DATE 6-10-69 <b>4</b>
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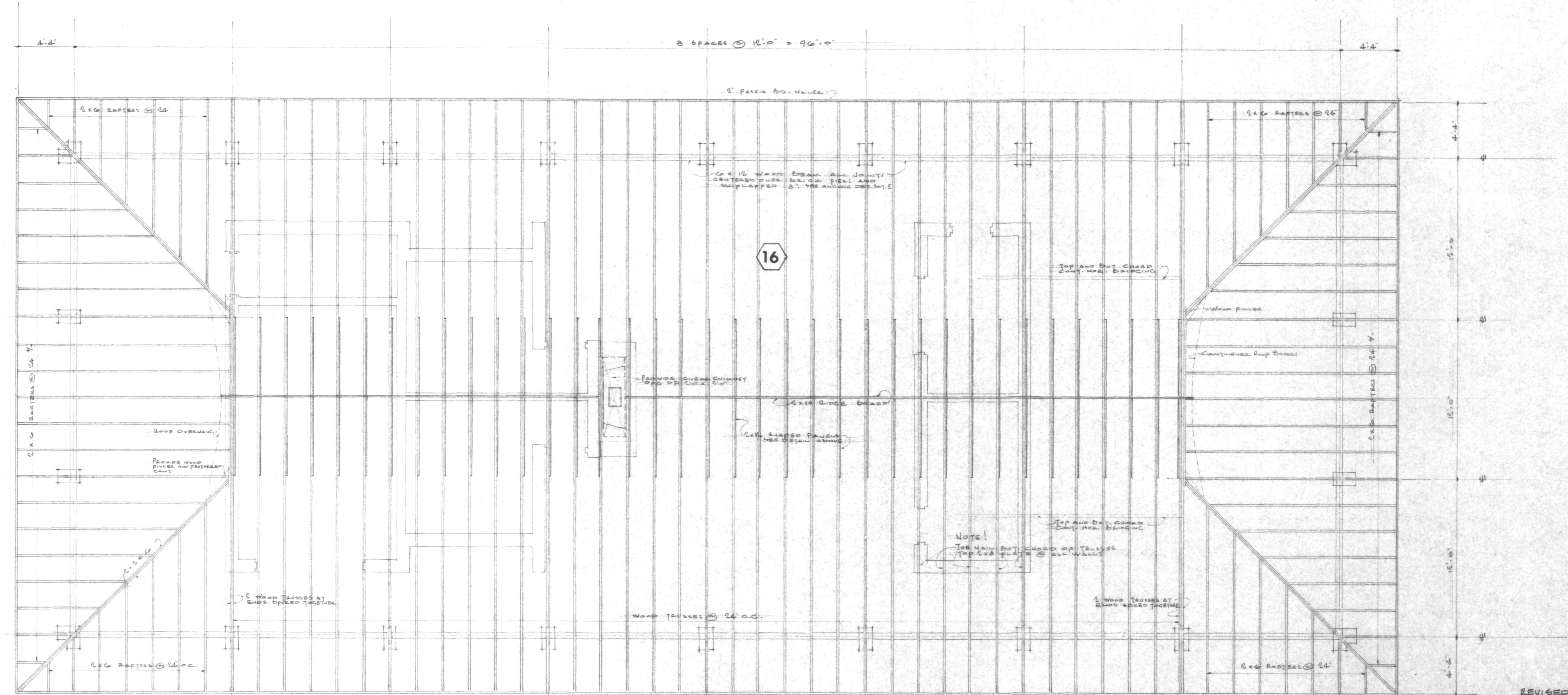


PROJECT <b>RENOVATIONS TO VETERANS PARK SHELTER</b>	OWNER <b>CITY OF ANN ARBOR</b>	ARCHITECT <b>JAMES P. WONG &amp; ASSOC.</b>	JOB NO. 0269 DATE 02/69
ANN ARBOR, MICHIGAN		537 E. STADIUM BLVD. ANN ARBOR, MICHIGAN	<b>5</b>





• TYPICAL DETAIL OF SHAPED PANEL  
CUT FROM 2x12 • SCALE 1" = 1'-0"



• ROOF FRAMING PLAN • SCALE 1/4" = 1'-0"



PROJECT <b>RENOVATIONS TO VETERANS PARK SHELTER</b> ANN ARBOR, MICHIGAN	OWNER <b>CITY OF ANN ARBOR</b>	ARCHITECT <b>JAMES P. WONG &amp; ASSOC.</b> 1875 E. STADIUM BLVD. ANN ARBOR, MICHIGAN	Job No. 2463 DATE: 02-70 <b>6</b>
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REVISED APRIL 29, 1971

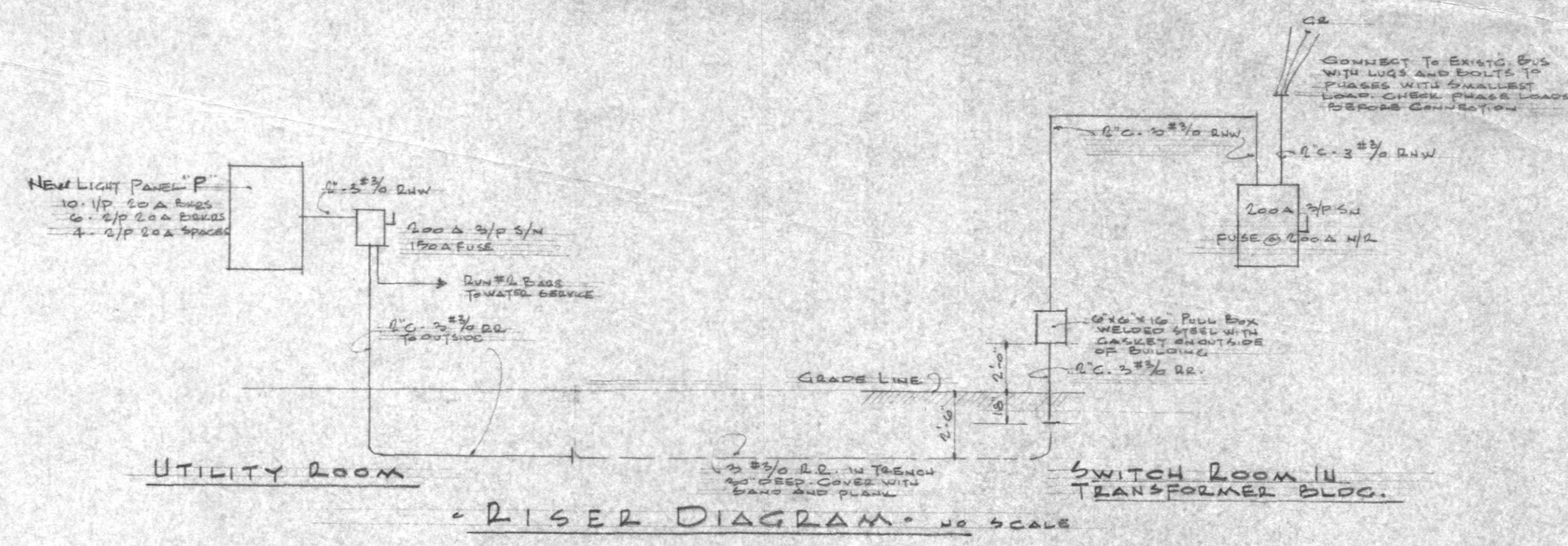


LIGHTING FIXTURE SCHEDULE

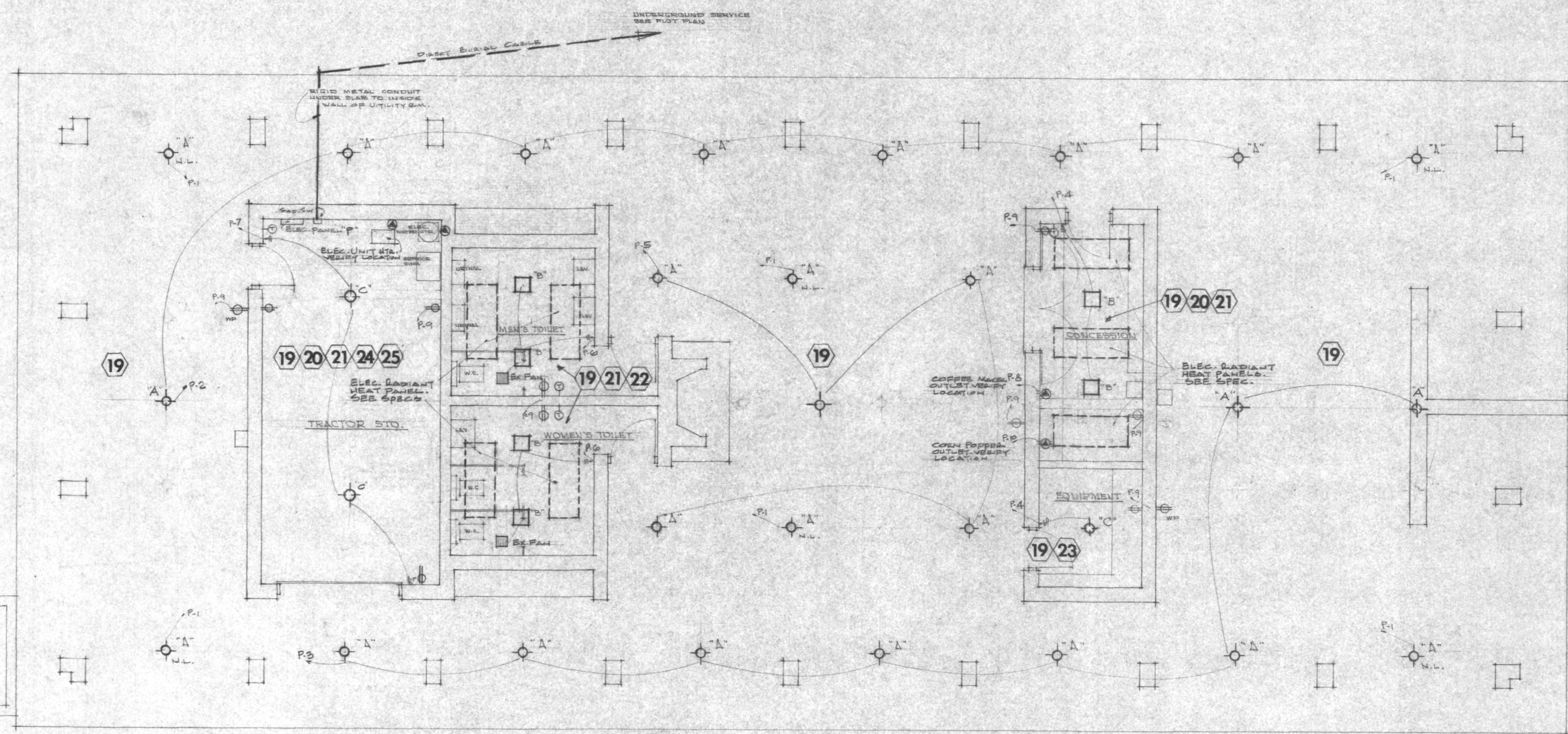
TYPE	LAMPS		LAMP	MOUNTING	MANUFACTURER	CAT. NO.	FINISH	REMARKS	
	NO	WATTS							
A	INCANDESCENT	2	100	A	SURFACE	KENALL	2805	WHITE	PROVIDE MOUNTING ADAPTER
B	INCANDESCENT	1	100	A	SURFACE	KENALL	2185	WHITE	DO
C	INCANDESCENT	1	100	A	SURFACE			PORCELAIN RECP.	

ELECTRICAL SYMBOLS

	INCANDESCENT FIXTURES
	DUPLEX CONVENIENCE OUTLET
	WEATHERPROOF OUTLET
	SPECIAL OUTLET
"A"	FIXTURE MARK
N.L.	NIGHT LIGHT CIRCUIT SW. @ PANEL
P-1	HOME RUN TO PANEL & CIRCUIT NO.



RISE R DIAGRAM - NO SCALE



MECHANICAL AND ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

NOTE: WRAP ALL PLUMBING PIPES WITH AUTOMATIC HEAT TAPE EZ-AP SERIES - BASTY HEAT CO. AS CALLED FOR IN SPEC.



PROJECT <b>RENOVATIONS TO VETERANS PARK SHELTER</b> ANN ARBOR, MICHIGAN		OWNER CITY OF ANN ARBOR	ARCHITECT JAMES P. WONG & ASSOC. 1975 E. STADIUM BLVD. ANN ARBOR, MICHIGAN	REVISED APRIL 29, 1971 JOB NO. 0469 DATE 6/1/69 <b>7</b>
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GENERAL CONDITIONS ( SUPPLEMENTARY )

1. Scope:
  - A. The Contractor shall provide all items, articles, operations or methods listed, mentioned or subordinated on the drawings and/or herein, including all labor, materials, equipment and incidentals necessary and required for their completion.
2. General Conditions:
  - A. The "General Conditions" of the Contract for the Construction of Buildings standard form, American Institute of Architects, current edition, shall form a part of these specifications, applying to the Contractor and all Subcontractors.
  - B. A copy is available for reference at the office of the Architect.
3. Allowances:
  - A. See trade divisions for sums to be set aside for materials and/or labor not specifically described. Allowances include:
    - a. Brick, see Masonry - \$73.00 /M
    - b. Finish Hardware, See Carpentry and Millwork - \$450.00
  - B. Any difference between the Allowances and final costs to be adjusted between Owner and Contractor.
4. Laying Out Work:
  - A. The Contractor shall be responsible for correctly laying out the work as shown on the drawings, and maintaining accuracy in the work through out.
  - B. As the work progresses, the Contractor shall lay out and mark all partitions as a guide to all trades.
5. Manufacturer's Specifications:
  - A. Whenever materials or products are specified by trade name the Manufacturer's Specifications shall be strictly followed. No substitution allowed without approval of the Architect.
6. Protection:
  - A. General:
    - a. Erect safe and proper barricades as necessary to prevent personal injury.
  - B. Weather:
    - a. Provide suitable protection for all work and materials to prevent any weather damage.
    - b. At the end of a day's work, cover all new work likely to be damaged.
    - c. Provide a temporary storage shed on the premises for the use of all trades.
7. Temporary Utilities:
  - A. The General Contractor will provide all electric, lighting, and other utilities for all trades. Water will be supplied to building area by city at no cost to Contractor.
8. Insurance:
  - A. Contractor:
    - a. The Contractor shall maintain Workmen's Compensation, Public Liability, and Property Damage insurance through out the term of this contract, all in accordance with the laws of the State of Michigan. The limits of insurance required are:
 

Public Liability	\$100,000 for injury to one person and \$300,000 for one accident
	\$ 50,000 for damage to property
9. Toilet Accomodations:
  - A. General Contractor shall provide and maintain temporary facilities for the workmen. Installation is to meet all governing codes.

EXCAVATION, BACKFILL & GRADING

1. General Conditions:
  - A. The work under this section is subject to the General Conditions (Supplementary) items 1 thru 9.
2. General Notes:
  - A. General Contractor will stake out the building and establish floor and grade elevations.
3. Excavations:
  - A. Remove topsoil from the building area and pile it for redistribution.
  - B. Excavate to dimensions and elevations indicated, plus sufficient space to permit erection of forms. Use all material on the site.
  - C. This Contractor shall notify Architect before placing of concrete, of any unusual soil conditions which might prevent footings and piers from being poured on solid bearing.
4. Filling and Grading:
  - A. Fill:
    - a. Fill under all concrete slabs, interior and exterior, with 6" minimum sand-gravel, run-of-pit.
  - B. Backfill:
    - a. Backfill foundation wall trenches with sand-gravel, run-of-pit. Compact all fill with water and tamping.
  - C. Grading:
    - a. Cut or fill to bring grades to approximately those shown on drawings.
    - b. Placement of topsoil and finish hand grading is not a part of this contract.

CONCRETE

1. General Conditions:
  - A. The work under this section is subject to the General Conditions (Supplementary) items 1 thru 9.
2. Footings and Piers:
  - A. Footing trenches and piers:
    - a. Cut with straight sides, if possible, and remove all loose earth.
  - B. Forms:
    - a. Lined up. Level and centered under walls.
  - C. Reinforcing:
    - a. This Contractor to furnish and install all reinforcing bars.
    - b. See foundation plan and sections.
  - D. Placing concrete:
    - a. Per requirement of Local Code. Use 3000# concrete.
    - b. Rough sored top in preparation for placement of block walls.
  - E. Anchors:
    - a. Note anchor rods to be installed in concrete piers.
3. Floors:
  - A. Interior:
    - a. Note concrete floor is placed over 6" minimum sand-gravel fill. Settle with water.
    - b. Vapor barrier required - 4 mil Visqueen film vapor barrier over sand fill in all interior rooms.
    - c. Reinforce with 6 x 6 #10 ga. welded wire mesh.
    - d. Place 4" slab. Steel trowel floors to smooth surface suitable for finish floor, pitched 1" to drains.
    - e. Use 3000# concrete through out.
    - f. Use Densicon Cure-Hard Liquid Hardener.
  - B. Exterior:
    - a. Note slabs are placed over 6" minimum sand-gravel fill, settled with water.
    - b. See plans for expansion joints. Include joint between all parts of the structure and the slabs. Use 1/2" x 4" asphalt impregnated material such as Flexcell, by Celotex Corporation.
    - c. Reinforce with 6 x 6 #10 gauge welded wire fabric, lapped 6" and pulled up into slab. (Do not run through expansion or cold joints).
    - d. Place 4" slab and trowel to smooth surface.
    - e. Grass-brush with fine hair broom.
    - f. Edge all slabs and joints with small radius tool.
    - g. Pitch as shown. Note slab is thickened to 12" on entire perimeter.
    - h. Use minimum 3000# air entrained concrete.
    - i. Place metal inserts and bench supports as shown.

MASONRY

1. General Conditions:
  - A. The work under this section is subject to the General Conditions (Supplementary) items 1 thru 9.
2. Block Walls:
  - A. Materials:
    - a. Block, lightweight aggregate.
    - b. Mortar, use one part commercial mortar cement to three parts sand by volume. Brimant preferred.
    - c. Reinforcing, "Duro-Wal", every third course.
    - d. Galvanized brick anchors.
  - B. Laying:
    - a. Full beds of mortar.
    - b. Plumb, level, true to line, 8" per course, running bond.
    - c. Tool all exposed joints half round, strike others flush.
    - d. Fill core of block work of all exterior walls with water repellent Vermiculite insulation.
  - C. Cleaning:
    - a. Cut out loose mortar, fill all holes, repoint where necessary.
    - b. Exposed masonry surfaces left clean of mortar lumps and stains.
3. Brick Walls & Piers:
  - A. Material:
    - a. Brick allowance, \$73.00/M.
    - b. Mortar, dark color, Architect to select color.
  - B. Laying:
    - a. Full beds of mortar, running bond, parge block back-up.
    - b. Plumb, level, true to line.
    - c. All exposed joints to be raked.
    - d. Provide cement wash and grout into place steel anchors for all wood beams at top of all brick piers. Note angle supports for wood benches.
  - C. Cleaning:
    - a. Cut out loose mortar, fill all holes, repoint where necessary.
    - b. Scrub with 5% solution of muriatic acid.
    - c. Flush with clear water.
4. Fireplace - Alternate #1:
  - A. Fireplace:
    - a. Build per details on sheet 5, and the plan on sheet 3.
    - b. Damper, cast-iron, chain control.
    - c. Plus lining, terra cotta, free from cracks.
    - d. Fire brick, laid flat, backwall and sidewalls.
    - e. Hearth, reinforced concrete, on steel frame. Smooth trowel finish top and exposed edges.
    - f. Depressed 1" firebrick under fire.
    - g. Chimney cap of cement with wash. Waterproof with two coats "Thoro-Seal".
    - h. Base and cap flashing by others.

5. Insulation:

- A. Perimeter of foundation walls:
    - a. Furnished and installed by General Contractor.
  - B. Block walls:
    - a. Masonry Contractor to fill block cavity with water repellent Vermiculite masonry fill insulation by Zemelite Company.
6. Planter Boxes - Alternate IV
- A. Planter box:
    - a. Build per detail on Sheet # 3.
    - b. Asphalt waterproof interior.


STRUCTURAL STEEL & MISCELLANEOUS METALS

1. General Conditions:
  - A. The work under this section is subject to the General Conditions (Supplementary) items 1 thru 9.
2. Listels:
  - A. Furnish all steel listels of built up sections and angles as shown in details. Built up lintel over garage door shall have minimum bearing of 8" each side. Masons will install.
3. Wood Beam Anchors:
  - A. Furnish bent plate anchors as detailed on Sheet # 5 to masons to locate and set. This Contractor shall weld anchoring rod to plate after anchors are set in grout.
4. Wood Bench Supports & Inserts Built In Concrete:
  - A. Furnish to Masonry and Concrete Contractors steel angle and pipe bench supports; pipe insert at sill of garage door in proper time for them to install.
5. Fabrication:
  - A. Do all punching and drilling of steel required for attachment of other materials.
  - B. All shop connections shall be welded.
6. Painting:
  - A. All structural steel and miscellaneous metals shall receive one shop coat of metal primer after all dirt, rust and scale have been removed.

CARPENTRY & MILLWORK

1. General Conditions:
  - A. The work under this section is subject to the General Conditions (Supplementary) items 1 thru 9.
2. Work Included:
  - A. In general the Carpentry and Millwork will include: roof trusses with shaped panels, roof decking, wood beams, ceiling joist, plates, wood ceiling, cement asbestos board ceiling, doors, counter and shelving, wood fascia and trim, wood louvers, wood bounces and any and all miscellaneous items not mentioned heretofore but shown on drawings or necessary for a completed installation.
  - B. Trusses:
    - a. As fabricated by Michigan Timber and Truss.
    - b. Shop drawings shall be submitted to Architect showing all connections, lumber grades and details for approval.
  - C. Beams & Joists:
    - a. Beams shall be No. 2 fir or better selected for straightness.
    - b. Roof and ceiling joist shall be No. 1 fir.
  - D. Roof Sheathing:
    - a. Shall be shiplap T.P. not over 3" wide where concealed by ceiling. At exposed underside (approximately 4' outside of brick piers) roof sheathing shall be 1" x 6" "V" joint redwood.
  - E. Shaped Panels:
    - a. Shall be No. 2 fir or better cut from 2" x 12" and spiked to top chord of truss. Note detail on Structural Sheet.
  - F. Studs & Plates:
    - a. Shall be No. 2 fir or better.
    - b. Stud partition shall be 16" o.c. with 1/2" V.O. fir plywood screwed to both sides of studs for possible removal.
    - c. Plates shall be 2 x 8 bolted 4' o.c. to masonry walls. Bottom chord of trusses bearing on plate shall be toenailed to plate for added stability of roof.
  - G. Finish Ceilings:
    - a. 1 x 6 "V" joint redwood nailed to joist and bottom chord of truss in open shelter areas.
    - b. 1/4" cement asbestos panels in all enclosed areas. Chipped edges of panels will not be accepted. Provide 5/8" x 5/8" redwood nailing at top of walls to cover plates.
  - H. Benches:
    - a. Shall be clear, all heart redwood as shown. Seal with one coat of "Woodlife" before assembly.
  - I. Doors:
    - a. Sizes as shown in Door Schedule with solid core, paint grade birch veneer and exterior glass.
    - b. Overhead doors shall be by "Crawford" or "Overhead" of 4 panel flush design, 1/8" hardboard panels both sides, exterior glass, complete with track and all hardware and weatherstripping.

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	PROJECT <b>RENOVATIONS TO          VETERANS PARK SHELTER</b> <small>ANN ARBOR, MICHIGAN</small>	OWNER <b>CITY OF ANN ARBOR</b>	ARCHITECT <b>JAMES P. NONG &amp; ASSOC.</b> <small>1275 E. STADIA BLVD.          ANN ARBOR, MICHIGAN</small>	JOB NO. 2407 DATE 2-27-65 <div style="font-size: 2em; font-weight: bold; margin-top: 10px;">8</div>
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2. Work Included: - continued

J. Fascia, Louvers & Trim:

- a. Shall be clear all heart redwood.
- b. Fascia board at joints shall be scarfed or shiplap. No butt joints will be accepted.
- c. Screening shall be 18-lb aluminum screen cloth.

K. Counter Top & Shelves:

- a. Counter top shall be 3/4" mahogany plywood. Metal cladding at pass thru window will be by others.
- b. All shelving and dividers shall be 3/4" fir A-B plywood.

L. Access Panel:

- a. Provide a 24" x 36" access panel of 1/2" plywood with a cased opening of 1 x 2 in Tractor Room where shown. Hang with aluminum piano hinge.

M. Hardware (Finish):

- a. Furnish and install all necessary hardware. Hardware allowance of \$450.00.

N. Removable Panels - Alternate III:

- a. Seven are required on west elevation and six on east elevation.
- b. 2 built up head beams and 2 continuous channel anchors as detailed are required under this alternate.
- c. Panels shall be 3/8" redwood rusticwood plywood panel by (Simpson) exterior glued to 3/4" V.G. fir plywood good one side.
- d. Each panel shall have a glazed panel of 1/4" clear, colorless "Plexiglass" as detailed with redwood jambs and stops. Allow 1/8" minimum on all sides of plexiglass for expansion.
- e. Bent plate head clamps and bottom holding bolts as detailed.
- f. 3 coats of pigment stain for beams and panels and one coat metal primer and 2 coats metal paint on metal included under this Alternate.

O. Insulation:

- a. Ceiling of enclosed areas: Fiberglass 6" thick by 24" bats foiled faced furnished and installed by this Contractor.

ROOFING AND SHEETMETAL

1. General Conditions:

- A. The work under this section is subject to the General Conditions. (Supplementary) items 1 thru 9.

2. Work Included:

- A. In general the work under this section shall include: metal flashing, saddles, asphalt shingle roof, roof edging and metal counter top.
- B. Flashing of plumbing vents will be by others.

3. Asphalt Shingles:

- A. Shall be Wind Seal Shingles by "Bird". Weight shall be 235# per square. Color to be Moire Black. Shingles shall be laid 5" to weather in accordance with manufacturers instructions.
- B. Underlayment, one layer of 15# asphalt saturated felt applied "shingle fashion" with 6" minimum end laps and 4" minimum edge laps. Cap all ridges with full width strips and ridge shingles.
- C. Roofing nails shall not penetrate roof sheathing where underside is exposed.

4. Flashing & Metal Edging:

- A. Shall be 16 oz. cold rolled copper.
- B. Metal edging shall be required on all roof edges including gable end. No butt joints will be permitted. Edging shall have 1/2" bottom lock and joints shall be lapped 3" and bottom locked.
- C. Flashing at chimney shall be base and counter or cap.

5. Metal Counter Top:

- A. Shall be 20 ga. stainless steel formed to top furnished by Carpentry Contractor. Stainless steel shall cover the edges and lap the bottom a minimum of 1". All corners shall be soldered and ground smooth.

6. Exhaust Fan & Ducts:

- A. Note location of fan and grille in ceiling of toilet room. Fan will be mounted on rubber or felt mounts in attic space and discharge directly into attic space.
- B. Duct work shall be 26 ga. galvanized iron from each register or grille as shown and terminate at a common plenum connection of fan.
- C. Fan shall be ILO Electric Ventilating Company small type B Util-A-Set No. B9 - 1725 RPM, 1/12 H.P.
- D. Ceiling grilles shall be by A & A Register Company. No. A-05, Size 6" x 14" in each toilet room.
- E. Electrical Contractor will make all electrical connections and wiring.

HOLLOW METAL DOOR FRAMES

1. General Conditions:

- A. The work under this section is subject to the General Conditions. (Supplementary) items 1 thru 9.

2. Frames:

- A. Frames shall be 16 gauge cold rolled steel with 3 anchors per jamb and floor anchor clips. Frames are to be mortised and reinforced for strikes and hinges.
- B. All frames shall be shop primed both sides with a rust inhibitor paint.

METAL TOILET PARTITIONS

1. General Conditions:

- A. The work under this section is subject to the General Conditions. (Supplementary) items 1 thru 9.

2. Partitions:

- A. Toilet partitions shall be Mills "Marblastal: floor braced or approved equal; color to be Sage Green #M-722. Partitions, doors, hardware and installation to meet manufacturers standard specification.
- B. Sizes shall be 36" x 57".
- C. All exposed surfaces other than hardware and trim shall have one coat of baked on primer and two coats of baked on enamel.
- D. Each compartment shall have a paper holder, slide latch, keeper and bumper and combination coat hook and bumper of manufacturers standard design.
- E. Erect compartment rigid, straight, plumb and level. Secure to wall with two stirrups near top and bottom and bolt to wall. Secure to floor with 3/8" cadmium plated bolts set in expansion shields, extending at least 2" into concrete.

ASPHALT PAVING BLOCKS - ALTERNATE II

1. General Conditions:

- A. The work under this section is subject to the General Conditions. (Supplementary) items 1 thru 9.

2. Paving Blocks:

- A. Hexagonal asphalt blocks shall be as manufactured by the Hastings Pavement Company (Russ Brown and Associates, 10230 Grand River Ave., Detroit, Telephone Number DE. 3-6960).
- B. Blocks shall be 1 1/2" thick and 8 1/2" between parallel sides composed of crushed limestone and asphaltic cement binder.
- C. Blocks shall be laid in tight joints on a bed of 4" well tamped and rolled stone approximately 3/4" to 1 1/4" in size; then 2" of finely graded sand-stone to fill voids between large stone. Over this base spread a 1" underlayment of six parts sand to one part cement.
- D. Blocks shall be laid in straight courses end to end; each row begun with half or full blocks alternately. Surface is sealed by sweeping equal portions of dry sand. Cement into joints.
- E. Detailed installation instructions will be furnished by manufacturer.

PAINTING AND CAULKING

1. General Conditions:

- A. The work under this section is subject to the General Conditions. (Supplementary) items 1 thru 9.

2. Caulking:

- A. Caulk all joints around door frames and any other locations shown or required to make all exterior work weather tight.
- B. Caulking shall be Tremco Caulking and Painting Compound or approved equal. Color to match adjoining material.

3. Painting:

- A. Preparation of surfaces include cleaning off all dirt, filling all nail holes and in general preparing a clean smooth surface to receive paint or stain.
- B. Exterior Work:
  - a. Wood beams, fascia board, louvers, trim; 3 coats of pigmented oil stain. Color to be selected.
  - b. Wood doors, one coat of exterior wood primer and two coats of exterior oil paint. Painting of top and bottom of doors included.
  - c. Redwood soffits, two coats of pigmented stain.
  - d. Ferrous metal including all anchors, door frames, bench supports, steel lintels shall have two coats exterior metal paint not including shop primer coat.
  - e. Aluminum light fixture frames; metal primer and one coat exterior metal paint sprayed on.
- C. Interior Work:
  - a. Cement asbestos ceilings; two coats of semi-gloss enamel.
  - b. Wood plate or molding; two coats of pigmented stain.
  - c. All block walls except Toilet Rooms; two coats "Crete Masonry Paint".
  - d. Plywood partition; one coat of sealer, two coats enamel.
  - e. Counter and shelving; one coat sealer and two coats of semi-gloss enamel.
  - f. Toilet Room block walls:
    - 1. "Teramo-Wall" by Arven, epoxy-glass (3 coats)
    - 2. "Situflex" by H. L. Blackford, Inc.
    - 3. "Texolite" by U.S. Gypsum Company (3 coats)
- D. Protection of Work:
  - A. Protect concrete floor with drop clothes and remove all paint drippings.

PLUMBING


1. General Conditions:

- A. The work under this section is subject to the General Conditions. (Supplementary) items 1 thru 9.

2. General Notes:

- A. All work to conform to Local and State Codes.
- B. Sewer and water benefit charges under sewer ordinance #51 and water ordinance #43 are included in the bid.

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	PROJECT	OWNER	ARCHITECT	DATE
	RENOVATIONS TO VETERANS PARK SHELTER ANN ARBOR, MICHIGAN	CITY OF ANN ARBOR	JAMES P. WONG & ASSOC. 2972 E. TAPSCOTT BLVD. ANN ARBOR, MICHIGAN	9



3. Soil, Waste and Vent Lines:

A. Building Sewer:

- a. Main and branch waste and vent lines, cast-iron below concrete floor, may be galvanized steel pipe or Type L hard copper above at contractor's option.
- b. Sewer, 4" cast-iron to point 10' outside north wall of building. Vitrified clay pipe and fittings from this point to existing sanitary (including new man hole as per Ann Arbor standards) see Sheet #1.

B. Flashing of vent lines thru roofs (2)

- a. Lead or copper roof jack furnished by this Contractor (not hammer - ring type).
- b. Roofing Contractor will build into shingles.

4. Drains:

A. Footing Drains: - None

B. Floor Drains: (3)

- a. Toilet rooms and concession, 3" cast-iron body, polished nickel bronze adjustable strainer, set 1" below finish floor.
- b. Utility room, 3" cast-iron body, cast-iron strainer, set 1 1/2" below finish floor. Tractor Room same as Utility Room.

5. Water Supply Pipes and Fittings:

A. Meter and service:

- a. Run 1 1/2" Type K copper service line from point shown on foundation plan west of building to water location on south wall of Tractor Room. Cap end of water line outside building temporarily.
- b. Notify Owner to apply for 3/4" x 1" meter.
- c. Owner to provide water to cap end of water line.
- d. Alternate V - 1 1/2" copper water line from 10 ft. west of Shelter to property line at Maple Road and cap.

B. Piping:

- a. All inside water supply piping to be Type L hard copper, stream-lined fittings, sweat solder type, when above concrete floors. Use Type K soft copper below concrete floors, 95-5 joints (avoid joints if possible).
- b. Size supplied according to Local and State Codes.
- c. Provide air chambers of sufficient capacity at all faucets to prevent knocking, and solder hangers to pipe, provide rubber gaskets etc., to prevent noise from pipe movement.

C. Shut-Off Valves:

- a. Provide for all fixtures.
- b. Provide for two outside sillcocks, Zurn 2-1395, 3/4" bronze casing.

6. Insulation:

A. Insulate all cold water pipe above concrete floors with cellular asbestos to avoid sweating.

B. Keep hot and cold water lines to a minimum of 6" apart.

C. Electric Contractor to provide and install heat tape on underground piping from exterior wall of Men's toilet to and including all lines in concession.

7. Fixtures and Fittings:

A. Fittings:

- a. Sillcock, solid brass or bronze.
- b. Concession and toilets, chrome plated brass.
- c. Utility room, solid brass or rough C.P.

B. Fixtures: Furnish and install the following White fixtures, Crane Mfg. Co.

- a. Lavatories - Wall hung Crane 20 x 18 in. Yorkshire complete with P. D. Plug, with No. 333 Chicago push button basin faucet and 2-122h Zurn concealed type hanger.
- b. Water Closets - Crane Rapidway #3-664 vitreous china elongated closet bowl, with #1137V Steam flush valve, 1" W. H. straight stop, 0V-100A vacuum breaker, church seat #395 and #3-988 supporting chair.
- c. Urinals - Crane Sanitor #7-43 stall type No. 4 Balloumade #7-170 china tanks, Marvel #9-896 float valve and #9-890 siphon valve. Tanks in Utility Room.
- d. Service Sink - Crane #7-563, size 24" x 20" with #7-626 enamel inside trap for 3" pipe connection, #8-100 faucet, and 8-980 rim guard C.P.
- e. Drinking Fountain - Howe Model 74, wallhung, frost-proof valve, 36" to top of nozzle.

ELECTRICAL

1. General Conditions:

- A. The work under this section is subject to the General Conditions (Supplementary) items 1 thru 9.

2. Codes:

- A. Comply with all governing laws applying to electrical installations and with wiring rules of local electric utility company.
- B. Obtain all permits required by local ordinances. After completion of work, secure certificate of final inspection and approval.

3. Main Service:

- A. Provide 200 amp 3/P S/W switch on west wall of Switch Room in transformer building. Connect to existing 2 1/2" x 3" bus bars with lugs and bolts to phase with smallest load. Check phase load before connection.

4. Utility Services:

- A. Run Service overhead to outside of transformer building wall and down in conduit to 6" x 6" x 16" pull box 2' off grade. Conduit shall extend 18" below grade.
- B. Install 3 - #3/0 RH direct burial cable in a trench 30" deep and cover with sand and "Zinco" or creosoted plank.
- C. Service shall terminate at a 200 amp safety switch in Utility Room fused at 150 amp.
- D. Light panel shall be Square "D" QO load center for 1 p., 3 wire 120 - 240 V with 150 A main and 10- 1/p 20 amp breakers, 6- 2/p 20 amp breakers and 4 - 2/p 20 amp spaces, or approved equal.

5. Wiring:

- A. Conceal all wiring and outlet boxes, except in utility room.
- B. Use Romex type wiring inside the building, of following sizes:
  - a. All wall and ceiling light outlets, #12.
  - b. Convenience outlets, #12.
  - c. Electric heating panels, #12.
  - d. Conduit where required.

6. General Purpose Circuits:

- A. Provide 20 amp branch circuits to supply all lighting outlets and all convenience outlets throughout.

7. Appliance circuits:

- A. Provide 20 ampere branch circuit to supply hot water heater.
- B. Hot water heater shall be No. 212 glass lined automatic electric hot water heater by Payne Products Co., Ann Arbor.

8. Individual Equipment:

- A. Provide branch circuits for each of the following, and connect ready for operation:
  - a. Toilet room exhaust fan and lights. Unit furnished and installed by sheet metal contractor.
  - b. Electric space heating equipment - This contractor to provide and install the following:  
General Electric Co. Radiant Ceiling Panel, No. GE-72H2-2, 700W, 240V complete with frame, heating element assembly and face plate. Two such units are required in the girl's toilet, two in the boy's toilet and three in the concession. Mount units flush with ceiling in locations shown on plan. Mount automatic thermostats HMC11 at 5' heights where shown on plans.
  - c. Electric convection Heater GE 7257-5, 240V, 4500W with HMC11 automatic thermostat in Tractor Storage Room.
  - d. Electric convection Heater GE 7255-2, 240V, 2000W with HMC11 automatic thermostat in Utility Room.

9. Fixtures:

- A. See list of fixtures on Sheet 7.
  - a. Include all fixtures listed in the bid.
  - b. Install all fixtures, complete.
  - c. Inform Owner to obtain supply of bulbs as shown on plans from the Detroit Edison Company and install.
  - d. Face plate of fixture "A" will be painted by others.

10. Outlets:

- A. All outlets shall be located as shown.
  - B. Materials as follows:
    - a. Switches, 20 amp specification grade "T" rating.
    - b. Outside plugs, Arrow-Hart grounding type, WP, installed with tamper proof screws.
    - c. Plugs, duplex brown bakelite, grounding type outlet, Bryant.
    - d. Plates for all outlets, switch and convenience, stainless steel, plain satin finish, Bryant. Note tamper proof screws will be required on all plates. Spanner head type is recommended.

11. Heat Tape:

- A. Provide and install automatic heat tape with thermostat, EE-AB series by Easy Heat Company, on underground piping from exterior wall of men's toilet to and including all lines in concession.

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PROJECT RENOVATIONS TO VETERANS PARK SHELTER ANN ARBOR, MICHIGAN	OWNER CITY OF ANN ARBOR	ARCHITECT JAMES P. WONG & ASSOC. 207 E. STARKUM BLVD ANN ARBOR, MICHIGAN	Job No. 01-69 DATE 2/1/69 10
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