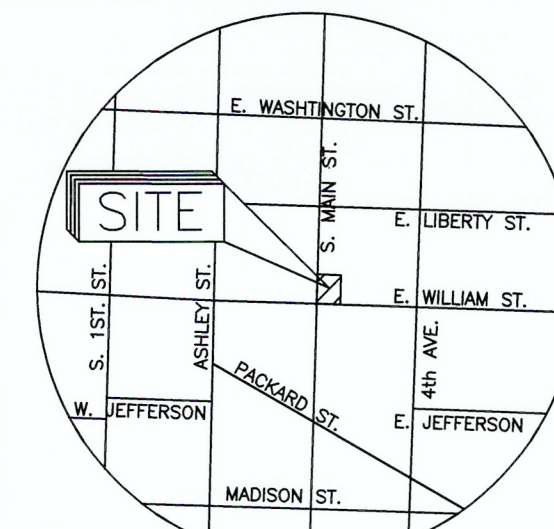


ALTA/NSPS LAND TITLE SURVEY



© 2021
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LIVINGSTON ENGINEERING
CIVIL ENGINEERING SURVEYING PLANNING
3500 S. OLD U.S. 23, BRIGHTON, MI 48114
PHONE: (810) 225-7100 FAX: (810) 225-7699
www.livingstoneng.com

Client
CITY OF ANN ARBOR
HOUSING COMMISSION
20000 S. INDUSTRIAL HWY.
ANN ARBOR, MICHIGAN 48104

ALTANSPS LAND TITLE SURVEY
DATE
REVISIONS
Drawn: JIM
Checked:
Approved:
Date: 2021-11-29
Job no. 21237
Scale:
Vertical: 1" = 10'
Horizontal:
1 OF 1

SIGN TABLE

- NO TURN ON RED
- NO TRUCKS
- KERRYTOWN DIS. INFO.
- BIKE USE PED SIGNAL
- HANDICAPPED PARKING
- HOURS OF OPERATION
DO NOT BACK INTO SPACES
- HOURLY PARKING ONLY
2 HOUR LIMIT
- PUBLIC PARKING
- BIKE LANE
NO PARKING

SURVEY NOTES:

1) With regard to Table A, item 11, information from the sources checked above will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or map how this affected the surveyor's assessment of the location of the utilities. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

2) Miss Dig was notified on November 1, 2021, Ticket No. B13051985

LEGEND

- COMMUNICATION RISER
- COMMUNICATION HANDHOLE
- COMMUNICATION MANHOLE
- ELECTRIC BOX
- ELECTRIC HANDHOLE
- ELECTRIC MANHOLE
- STORM MANHOLE
- SANITARY MANHOLE
- CATCH BASIN SQUARE
- CATCH BASIN ROUND
- CATCH BASIN IN CURB
- IRRIGATION VALVE BOX
- YARD DRAIN
- WATER SHUTOFF VALVE
- WATER VALVE IN BOX
- GATE VALVE IN BOX
- HYDRANT
- GAS SHUTOFF VALVE
- CROSSWALK SIGNAL
- SIGNAL POLE
- SIGN
- LIGHT POLE
- BOLLARD
- DECIDUOUS TREE
- HANDICAPPED
- BIKE LANE
- PARKING METER
- FINISHED FLOOR
- SET IRON ROD
- FOUND IRON ROD/PIPE
- FOUND MONUMENT
- TRAVERSE POINT-SET
- BENCHMARK
- EXISTING OVERHEAD UTILITY LINE
- CHAINLINK FENCE
- DECORATIVE FENCE

LEGAL DESCRIPTION (As provided by Absolute Title, Inc., File No. 91352, Effective Date: October 4, 2021 @ 5:00 p.m.)

Lot 8, Block 3 South of Huron Street, Range 4 East, Original Plat of the Village (now City) of Ann Arbor, as recorded in Transcripts, Pages 152 and 153, Washtenaw County Records, excepting therefrom the following: Beginning at a point in the East line of Lot 8, which is 2.84 feet South of the Northeast corner of said lot; thence North on said East lot line 2.84 feet to the Northeast corner of said lot; thence West on the North boundary line of said lot to the Northwest corner thereof; thence South on the West boundary line thereof 3.65 feet; thence Northwesterly to the Place of Beginning, being a part of Lot 8, Block 3 South, Range 4 East, Original Plat of the Village (now City) of Ann Arbor, as recorded in Transcripts, Pages 152 and 153, Washtenaw County Records.

SCHEDULE B-Section II Exceptions (As provided by Absolute Title, Inc., File No. 91352, Effective Date: October 4, 2021 @ 5:00 p.m.)

No easements, servitudes, covenants or other survey related matters were identified in the provided title evidence.

TABLE A ITEMS

As to Table A Item 1, all irons have been found or set.

As to Table A Item 2, the address of the Subject Property is 353 S. Main St., Ann Arbor, Michigan.

As to Table A Item 3, Per Fema Flood Insurance Rate Map 26161C0263E, with Effective Date 4-03-2012, the Subject Property lies in Zone X.

As to Table A Item 4, The total parcel has a gross land area of 0.18 acres, more or less (7,865 sqft)

As to Table A Item 5, A ground survey was performed to produce 1' contour intervals on the NAVD88 Datum, determined by GPS Observations.

As to Table A Item 7(a), there are no buildings on Subject Property.

As to Table A Item 7(c), there are no buildings on Subject Property.

As to Table A Item 8, substantial features observed as of November 23, 2021 have been shown on the survey.

As to Table A Item 9, the parking spaces are:
Standard Spaces: 22
Handicapped Spaces: 2
Total Spaces = 24

As to Table A Item 11, we have shown all observed and marked evidence of utilities as of the date of the survey. (SEE SURVEY NOTE 1)

As to Table A Item 13, as of November 29, 2021 we have shown the names of adjoining platted property owners based on available online tax records at www.washtenaw.org & bsonline.com.

As to Table A Item 16, at the time of our survey we did not observe any recent evidence of earth moving, building construction or building additions.

As to Table A Item 18, all known/disclosed easements and servitudes, as of the date of this survey, have been platted unless otherwise stated.

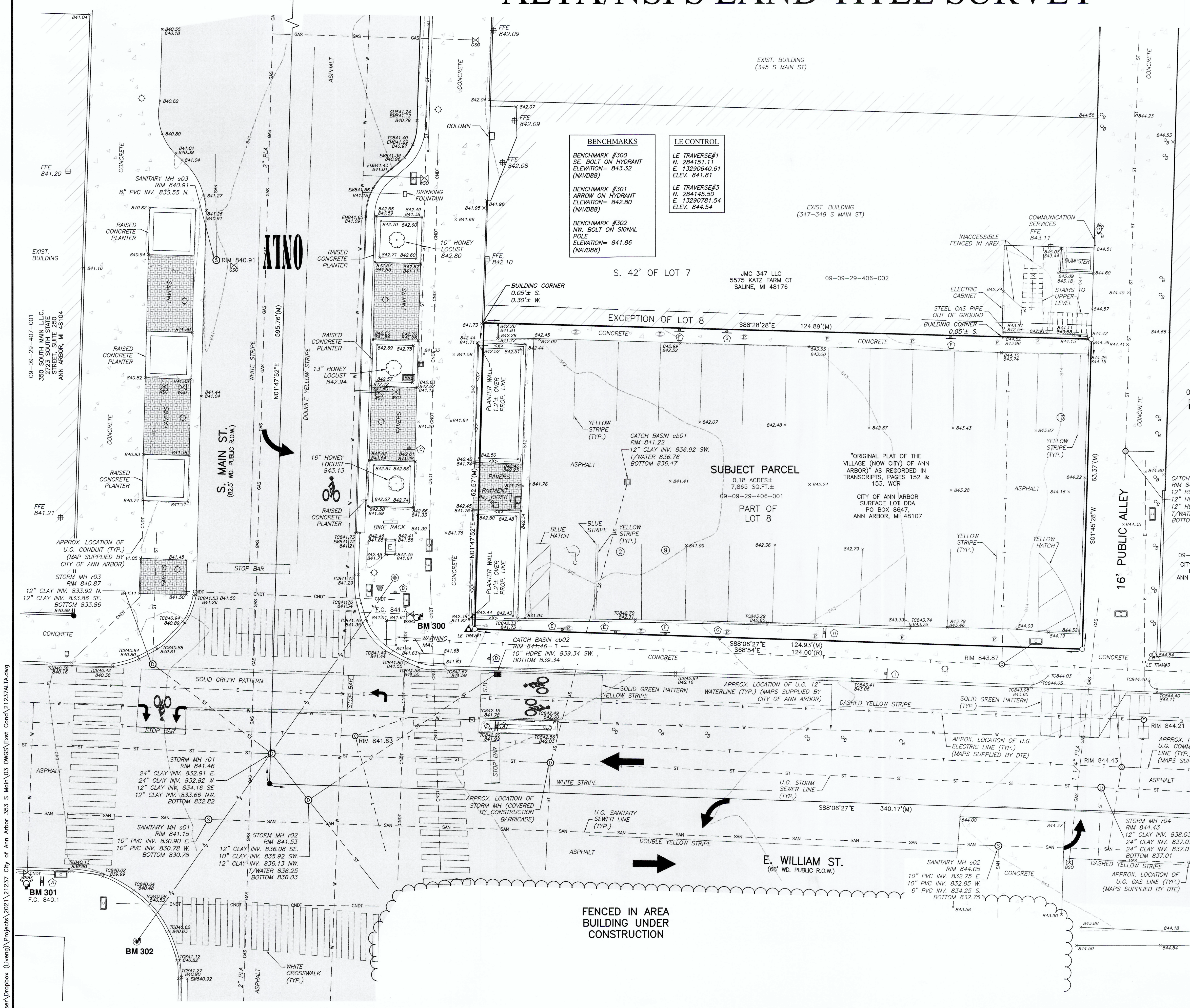
CERTIFICATION

To : ABSOLUTE TITLE, INC., CITY OF ANN ARBOR;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4 (in square feet or acres), 5, 7(a)(c), 8, 9, 11, 13, 16 & 18 of Table A thereof. The fieldwork was completed on November 23, 2021.

Date of Plat or Map: November 29, 2021

Signed: Dennis J. Long, P.S.
Michigan P.S. #50913



BENCHMARKS

BENCHMARK #300
SE. BOLT ON HYDRANT
ELEVATION = 843.32
(NAVD88)

BENCHMARK #301
ARROW ON HYDRANT
ELEVATION = 842.80
(NAVD88)

BENCHMARK #302
NW. BOLT ON SIGNAL
POLE
ELEVATION = 841.86
(NAVD88)

LE CONTROL

LE TRAVERSE#1
N. 284151.11
E. 13290640.61
ELEV. 841.81

LE TRAVERSE#3
N. 284145.30
E. 13290781.54
ELEV. 844.54

09-09-29-407-001
350 SOUTH MAIN LLC,
2723 SOUTH STATE
STREET, SUITE 250
ANN ARBOR, MI 48104

FILE: G:\Users\jlong\Dropbox (Living)\Projects\2021\21237 City of Ann Arbor 353 S. Main\03 DWG\Excel Cont\21237ALTA.dwg

FENCED IN AREA
BUILDING UNDER
CONSTRUCTION

E. WILLIAM ST.
(66' WD. PUBLIC R.O.W.)

S. MAIN ST.
(82.5' WD. PUBLIC R.O.W.)

16' PUBLIC ALLEY

SUBJECT PARCEL
0.18 ACRES ±
7,865 SQ.FT. ±

EXIST. BUILDING
(347-349 S MAIN ST)

EXIST. BUILDING
(345 S MAIN ST)

EXIST. BUILDING
(345 S MAIN ST)