

ADDENDUM No. 1

RFP No. AAHC 22-01

Miller Manor Fire Suppression System Upgrade

Due: June 7, 2022, at 12:00 p.m. (local time)

The information contained herein shall take precedence over the original documents and all previous addenda (if any) and is appended thereto.

The Proposer is to acknowledge receipt of this Addendum No. 1, including all attachments in its Proposal by so indicating in the proposal that the addendum has been received. Proposals submitted without acknowledgement of receipt of this addendum may be considered non-conforming.

The following forms provided within the RFP Document should be included in submitted proposal:

- **Attachment B – General Declaration**
- **Attachment C – Legal Status of Bidder**
- **Attachment D - Prevailing Wage Declaration of Compliance**
- **Attachment E - Living Wage Declaration of Compliance**
- **Attachment F – City of Ann Arbor – Living Wage Ordinance**
- **Attachment G - Vendor Conflict of Interest Disclosure Form**
- **Attachment H - Non-Discrimination Declaration of Compliance**

Proposals that fail to provide these completed forms listed above upon proposal opening may be rejected as non-responsive and may not be considered for award.

I. CORRECTIONS/ADDITIONS/DELETIONS

Changes to the RFP documents which are outlined below are referenced to a page or Section in which they appear conspicuously. Offerors are to take note in its review of the documents and include these changes as they may affect work or details in other areas not specifically referenced here.

Drawings	Change
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All	See revised drawings. All changes have been bubbled.
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II. QUESTIONS AND ANSWERS

The following questions were asked during the bid meeting walk-through and/or have been received by the City. Responses are being provided in accordance with the terms of the RFP. Respondents are directed to take note in its review of the documents of the following questions and City responses as they affect work or details in other areas not specifically referenced here.

Question 1: Fire suppression in closets
Answer 1: Yes, see attached drawings

Question 2: Fire suppression system to be routed above or below ceiling on first floor?
Answer 2: Below, however the new piping cannot block any electrical junction boxes.

Question 3: Replace cover or entire flow switch in first floor trash room?

Answer 3: Replace flow switch with new.

Question 4: Who is responsible for architectural repairs?

Answer 4: Bidders are responsible for all architectural repairs from the installation of the new fire suppression system.

Question 5: Are we to install sprinklers on the 1st and 7th floors of the stairwell?

Answer 5: Yes

Question 6: What hours are we allowed to work?

Answer 6: All noise producing activities (i.e. drilling, etc.) shall be done between 8 am and 5 pm. Low noise tasks (i.e. moving materials, set-up, etc.) can be done between 7 am and 8 am.

Question 7: Do you have a copy of the Annual Fire Pump Report?

Answer 7: Yes, see attached.

Question 8: Do you have a copy of the Hydrant Flow Test?

Answer 8: Yes, see attached.

Question 9: What color that you would like the new piping painted?

Answer 9: See attached paint specification.

Question 10: How can we get a copy of the asbestos report for this facility?

Answer 10: There is a link to the document in the RFP which is located on the MITN site.

Question 11: Can the bid be emailed?

Answer 11: No, bid documents shall be hand delivered to AAHC Office at 2000 S. Industrial Hwy, Ann Arbor, MI 48104.

Offerors are responsible for any conclusions that they may draw from the information contained in the Addendum.



1 AERIAL IMAGE
NO SCALE

MILLER MANOR FIRE SUPPRESSION DESIGN

ANN ARBOR, MICHIGAN



MILLER MANOR
FIRE SUPPRESSION
DESIGN
727 MILLER AVE,
ANN ARBOR, MI 48103



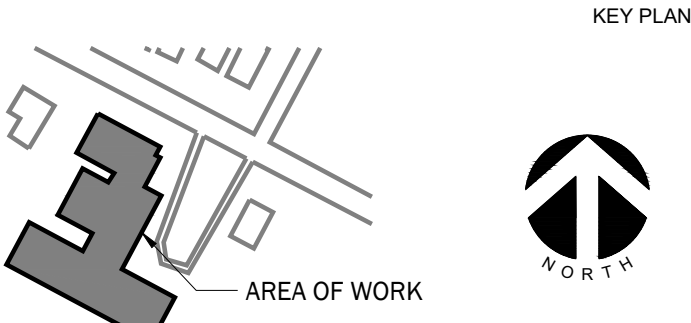
201 SOUTH ANN
ARBOR STREET
SALINE, MI
48176

PH: 734.429.8900
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PROFESSIONAL SEAL

CONSULTANT

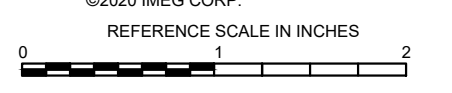
FOR BIDS ONLY
CONTRACTOR SHALL WORK FROM ISSUED FOR CONSTRUCTION DOCUMENTS OR LATER REVISIONS ONLY. CONTRACTOR SHALL NOT PURCHASE, FABRICATE OR CONSTRUCT FROM ANY DOCUMENTS ISSUED FOR REVIEW, BIDS, OR PERMITS.



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REVISIONS

No.	Date	Revision / Issue
A	04/01/2022	75% REVIEW
B	05/18/2022	ISSUED FOR BIDS
C	05/31/2022	ADDENDUM #1

SHEET INFORMATION

Issue	ADDENDUM #1
Date	05/31/2022
Job Number	22001233.00
Drawn	R. O'QUINN
Checked	D. NIETHAMMER
Approved	D. NIETHAMMER

SHEET TITLE

TITLE SHEET

SCALE

Scale: NONE

SHEET NUMBER

T001

DRAWING INDEX

- CURRENT ISSUE
- PREVIOUS ISSUE

DRAWING INDEX

GENERAL

T001	TITLE SHEET
G001	GENERAL INFORMATION, LEGEND, AND ABBREVIATIONS
G002	SPECIFICATIONS

FIRE SUPPRESSION FLOOR PLANS

F101	PARTIAL FIRST FLOOR PLAN (NORTH) - FIRE SUPPRESSION NEW WORK
F102	PARTIAL FIRST FLOOR PLAN (SOUTH) - FIRE SUPPRESSION NEW WORK
F103	SECOND FLOOR PLAN - FIRE SUPPRESSION NEW WORK
F104	THIRD THROUGH FIFTH FLOOR PLAN - FIRE SUPPRESSION NEW WORK
F105	SEVENTH FLOOR PLAN - FIRE SUPPRESSION NEW WORK

SCHEDULES AND DETAILS

F201	SCHEDULES AND DETAILS
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PROJECT DESCRIPTION

THIS PROJECT INVOLVES EXTENDING THE EXISTING FIRE SUPPRESSION SYSTEM TO COVER THE INDIVIDUAL APARTMENTS IN THE SOUTH TOWER PORTION OF THE FACILITY, AND THE MULTIPURPOSE AREAS OF THE NORTH PORTION OF THE FACILITY AS WELL AS UPDATES TO THE EXISTING FIRE ALARM SYSTEM IN BOTH AREAS.

SCOPE OF WORK

THE FOLLOWING OUTLINES THE SCOPE OF WORK FOR EACH DISCIPLINE:

FIRE SUPPRESSION:

- EVALUATE THE EXISTING FIRE SUPPRESSION SYSTEM OF THE NORTH BUILDING AREA AND EXTEND/MODIFY FIRE SUPPRESSION SYSTEM AS REQUIRED.
- EVALUATE THE EXISTING FIRE SUPPRESSION SYSTEM OF THE SOUTH BUILDING FIRST FLOOR FACILITY AND MAINTENANCE ROOMS AND EXTEND/MODIFY FIRE SUPPRESSION SYSTEM AS REQUIRED.
- INSTALL NEW 2 1/2" (PRELIMINARY SIZE, FINAL SIZE TO BE DETERMINED BY CONTRACTORS HYDRAULIC CALCULATIONS) FIRE SUPPRESSION PIPING FROM THE EXISTING 6" STANDPIPE IN THE STAIRWELLS DOWN THE HALLWAY ON EACH OF SEVEN (7) FLOORS.
- INSTALL NEW FLOW SENSOR, INSPECTORS TEST PORT, DRAIN, AND NEW BRANCH PIPE ON EACH FLOOR.
- INSTALL FIRE SPRINKLERS IN THE HALLWAYS OF EACH OF SEVEN (7) FLOORS.
- INSTALL FIRE SUPPRESSION PIPING THROUGH TENANT SPACE WALLS TO SPRINKLERS IN APARTMENTS AS SHOWN. FIRE SUPPRESSION LAYOUT FOR TENANT SPACES IS SHOWN TYPICAL FOR EACH APARTMENT BEDROOM SIZE.
- INSTALL FIRE SPRINKLERS IN THE LOBBY AREA OF THE SEVENTH (7TH) FLOOR.
- PAINT PIPING PER SPECIFICATIONS AND COLOR SELECTED BY OWNER.
- FLUSH, TEST, AND PROVIDE INSPECTION AND TESTING REPORTS/CERTIFICATES AS REQUIRED PER NOTES AND ALL CODES.

FIRE ALARM:

- INSTALL FLOW SENSORS. CONNECTION OF SENSORS TO FIRE ALARM SYSTEM SHALL BE BY OTHERS.

HAZARDOUS MATERIALS NOTE

THIS PROJECT AREA DOES CONTAIN HAZARDOUS MATERIALS. KNOWN HAZARDOUS MATERIALS CONTAINED IN THE PROJECT AREA INCLUDE BUT IS NOT LIMITED TO:

- ASBESTOS FIBER WALL-JOINT COMPOUND IN INTERIOR WALLS
- CEILING TILES NEAR KITCHEN OF OFFICE AREA

PROJECT CONSTRUCTION MANAGER SHALL COORDINATE ANY DISTURBANCES OF HAZARDOUS MATERIAL (WALL PENETRATIONS AND ANCHORING) WITH OWNER. REMOVAL OF HAZARDOUS MATERIALS SHALL BE IN ACCORDANCE WITH EPA REQUIREMENTS AS WELL AS REQUIREMENTS OF ANY OTHER AGENCIES WITH JURISDICTION OVER SUCH WORK.

PROJECT CONSTRUCTION MANAGER SHALL REVIEW THE ASBESTOS CONTAINING MATERIAL (ACM) SURVEY DATED AUGUST 8, 2013, AND CONTACT THE OWNER FOR ADDITIONAL COPIES AS REQUIRED.

PROJECT CLOSE OUT DOCUMENTS

CONTRACTOR SHALL PROVIDE A COPY OF THE FOLLOWING CLOSE OUT DOCUMENTS:

- APPROVED FIRE SUPPRESSION DRAWINGS.
- AS-BUILTS FOR RECORD DRAWINGS NOTING DEVIATIONS FROM CONSTRUCTION DOCUMENTS
- ALL O&M MANUALS (ELECTRONIC AND PAPER COPY)
- WARRANTY/WARRANTY CONTACT LIST WITHIN O&M MANUAL
- COPIES OF APPROVED INSPECTION AND TESTING REPORTS

GENERAL NOTES

- ALL WORK MUST COMPLY WITH THE REQUIREMENTS OF LOCAL CODES AND ORDINANCES. WHERE INSPECTIONS ARE REQUIRED BY AUTHORITIES HAVING JURISDICTION, WORK WILL NOT BE CONSIDERED COMPLETE UNTIL TESTED, INSPECTED, AND ACCEPTED.
- DRAWINGS ARE BASED ON AVAILABLE DOCUMENTS, SITE INSPECTION AND DESIGN EXPERIENCE. DRAWINGS MAY NOT REFLECT A COMPLETE AS BUILT CONDITION. CONTRACTOR TO FIELD VERIFY.
- DRAWINGS DIAGRAMMATICALLY INDICATE THE GENERAL WORK SCOPE BUT DO NOT PROVIDE EXACT SCALE OR LOCATIONS. PROPER INSTALLATION OF ALL SYSTEMS, AFTER COORDINATION WITH OTHER TRADES, IS THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL USE BID WALK-THROUGH AND FIELD OBSERVATIONS TO ENHANCE PROJECT UNDERSTANDING BEFORE BIDDING ON PROJECT.
- ALL CONTRACTORS TO REVIEW DRAWINGS AND SPECIFICATIONS TO UNDERSTAND THE SCOPE OF WORK FOR THEIR DISCIPLINE.
- NO DEMOLITION SHALL TAKE PLACE WITHOUT APPROVAL FROM THE OWNER'S REPRESENTATIVE.
- ALL UTILITY SHUTDOWNS ARE TO BE SCHEDULED WITH OWNER'S REPRESENTATIVE MINIMUM 24 HOURS IN ADVANCE.
- TEMPORARY REMOVAL OF ANY AND ALL EXISTING MISCELLANEOUS ITEMS (I.E. CONDUIT, PIPING, LIGHTING, ETC.) FOR THE PURPOSE OF PERFORMING THIS WORK SHALL BE REINSTALLED BACK TO PRE-CONSTRUCTION LEVEL AS PART OF THIS PROJECT. NO ADDITIONAL FEES WILL BE AWARDED.
- CONTRACTOR TO TEMPORARILY SUPPORT ALL DUCTWORK, PIPING, CONDUIT, ETC. DURING THE DEMOLITION AND CONSTRUCTION PHASES.
- CONTRACTOR TO PROTECT ALL PIPING, PIPE INSULATION, CONDUITS, FIRE SPRINKLERS, AND OTHER MISCELLANEOUS ITEMS DURING THE DEMOLITION PHASE. ANY DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS MUST BE REPAIRED OR REPLACED WITH EQUAL AND TO THE OWNER'S SATISFACTION AND AT NO ADDITIONAL COST.
- EQUIPMENT INDICATED ON THE CONSTRUCTION DOCUMENTS, TOGETHER WITH ITS BASE AND/OR SUPPORT, DUCTWORK, ROOF OPENINGS, ELECTRICAL SERVICE, REFRIGERANT PIPING, AND HEATING HOT WATER ARE BASED ON THE MAKE AND MODEL INDICATED IN THE EQUIPMENT SCHEDULE. SHOULD AN EQUIVALENT ALTERNATE MAKE OF EQUIPMENT BE SELECTED, EVEN IF APPROVED BY THE OWNER AS EQUAL, COORDINATE AND MAKE THE MODIFICATIONS IN THE WORK WITH NO CHANGE IN THE CONTRACT AMOUNT.
- UNLESS OTHERWISE SHOWN ON CONSTRUCTION DOCUMENTS OR SPECIFIED HEREIN, PRODUCTS USED IN THE WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS. ANY CHANGES OR MODIFICATIONS PROPOSED WHICH ARE BELIEVED TO IMPROVE THE INSTALLATION SHALL BE APPROVED BY THE OWNER AND/OR ITS REPRESENTATIVE.
- MAINTAIN SECURITY, LIFE SAFETY, FIRE AND SMOKE CONSTRUCTION INTEGRITY, FIRE ESCAPES AND EGRESS PATHS AT ALL TIMES.
- REFER TO CONTRACT DOCUMENTS AND PROJECT SPECIFICATIONS FOR ADDITIONAL SCOPE AND INFORMATION.
- SAFETY STANDARDS DICTATE THAT LIFTING OF EQUIPMENT ON THE ROOF OR IN THE SPACE MUST BE DONE WHEN THERE ARE NO PERSONNEL PRESENT IN THE SPACE.
- CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE CAUSED BY CRANE AND/OR EQUIPMENT USED DURING LIFTING PROCESS AND/OR CAUSED DURING CONSTRUCTION PROCESS.
- CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A COMPLETE AND WORKING SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR FINAL CLEANING OF PROJECT AREA(S).
- PROVIDE ALL REQUIRED ACCESSORIES, INCLUDING MISCELLANEOUS SUPPORT STEEL, REQUIRED FOR PROPER INSTALLATION.
- CONTRACTOR SHALL PROVIDE SUBMITTALS ON ALL EQUIPMENT FOR APPROVAL BEFORE PURCHASING.
- PROTECT BUILDING FROM DUST MIGRATION USING APPROPRIATE SEALED BARRIERS TO SEPARATE AND SEGREGATE CONSTRUCTION AREAS FROM ACTIVE TENANT AREAS INCLUDING SHARED CEILING PLENUMS AND MECHANICAL SYSTEMS.
- CONTRACTOR SHALL COORDINATE WITH ANN ARBOR HOUSING COMMISSION REPRESENTATIVES FOR ACCESS TO TENANT ROOMS.

SHOP DRAWING FOR REVIEW

CONTRACTOR SHALL SUBMIT THE FOLLOWING SHOP DRAWINGS FOR REVIEW AND APPROVAL FROM ENGINEER PRIOR TO PURCHASING:

- FIRE SPRINKLER SYSTEM WORKING DRAWINGS AS REQUIRED PER NFPA 13
- PIPING
- VALVES/COMPONENTS
- SPRINKLER HEADS

PROJECT DIRECTORY

OWNER: ANN ARBOR HOUSING COMMISSION
2000 S INDUSTRIAL
ANN ARBOR, MI 48104

PROJECT MANAGER: TULIO DECAN
CELL: (734) 794-6720 EXT. 47246
EMAIL: TDECAN@AZGOV.ORG

ENGINEER: IMEG
201 S. ANN ARBOR ST.
SALINE, MI 48176-1303

PROJECT ENGINEER:
DALE W. NIETHAMMER
CELL: (734) 678-2605
EMAIL: DALE.W.NIETHAMMER@IMEG.CORP.COM

PROJECT DESIGNER:
RYAN M. O'QUINN
CELL: (734) 657-1852
EMAIL: RYAN.M.OQUINN@IMEG.CORP.COM

SITE LOCATION



2 PROJECT LOCATION
NO SCALE



**MILLER MANOR
FIRE SUPPRESSION
DESIGN**
727 Miller Ave.
Ann Arbor, Michigan 48103



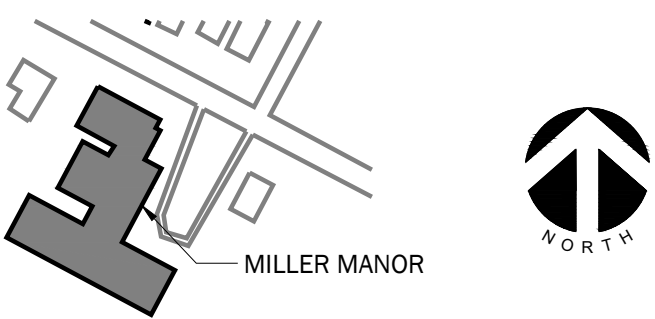
201 SOUTH ANN ARBOR STREET SALINE, MI 48176
PH: 734.429.8900 FAX: 734.429.8901 www.imegcorp.com

PROFESSIONAL SEAL

CONSULTANT

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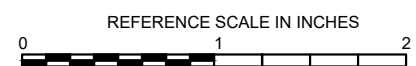
KEY PLAN



AGENCY APPROVAL

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REVISIONS

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B	05/18/2022	ISSUED FOR BIDS
C	05/31/2022	ADDENDUM #1

SHEET INFORMATION

Issue	ADDENDUM #1
Date	05/31/2022
Job Number	22001233.00
Drawn	R. O'QUINN
Checked	D. NIETHAMMER
Approved	D. NIETHAMMER

**GENERAL INFORMATION, LEGEND,
AND ABBREVIATIONS**

SCALE

NONE

SHEET NUMBER

G001

VIEW KEY		
	NAME	LEVEL NAME
	10' - 0"	HEIGHT ABOVE PROJECT 0' - 0"
	1	INDICATES NOTE USED TO DESCRIBE ADDITIONAL INFORMATION ABOUT WORK REQUIRED, SPECIFIC TO THE SHEET AND/OR DETAIL
		INDICATES DIRECTION OF TRUE NORTH
		PLAN OR DETAIL NUMBER
		PLAN OR DETAIL NAME
	1	VIEW NAME
	1/8" = 1'-0"	PLAN OR DETAIL SCALE
	SIM	INDICATES SIMILAR DETAIL REFERENCED IN MULTIPLE LOCATIONS
	M101	DETAIL REFERRED TO BY SECTION CUT
	T101	SHEET DETAIL IS LOCATED ON
LINE TYPE AND TAG KEY:		
		NEW WORK BY THIS CONTRACTOR (BOLD, WIDE LINE)
		NEW
		NEW UNDERFLOOR, UNDERGROUND, OR ABOVE (LONG DASHED PATTERN)
		EXISTING TO REMAIN OR WORK BY OTHERS (GREY, NARROW LINE)
		EXISTING
		EXISTING UNDERFLOOR, UNDERGROUND, OR ABOVE (LONG DASHED PATTERN)
HALFTONING DOES NOT MODIFY SCOPE.		
'TAG' (E)		TAGS WITH 'E' INDICATES THE REFERENCED OBJECT IS EXISTING
TAG-01		UNDERLINED TEXT INDICATES ADDITIONAL INFORMATION CAN BE FOUND ELSEWHERE IN A SCHEDULE, MATERIAL LIST, OR SYMBOL LIST
		INDICATES AN EXISTING SYSTEMS POINT OF CONNECTION/REMOVAL

CONTRACTOR ABBREVIATION KEY	
ABBR:	DESCRIPTION:
A.C.	ASBESTOS ABATEMENT CONTRACTOR
A.V.C.	AUDIO/VISUAL CONTRACTOR
C.C.	CIVIL CONTRACTOR
C.M.	CONSTRUCTION MANAGER
E.C.	ELECTRICAL CONTRACTOR
F.P.C.	FIRE PROTECTION CONTRACTOR
F.S.C.	FOOD SERVICE CONTRACTOR
G.C.	GENERAL CONTRACTOR
H.C.	HEATING CONTRACTOR
M.C.	MECHANICAL CONTRACTOR
N.C.C.	NURSE CALL CONTRACTOR
P.C.	PLUMBING CONTRACTOR
S.C.	SECURITY CONTRACTOR
TAB	TESTING AND BALANCING CONTRACTOR
T.C.	TECHNOLOGY CONTRACTOR
T.C.C.	TEMPERATURE CONTROLS CONTRACTOR
V.C.	VENTILATION CONTRACTOR

FIRE PROTECTION ABBREVIATION KEY	
ABBR:	DESCRIPTION:
AD	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR
BFP	BACKFLOW PREVENTER
I.E.	INVERT ELEVATION
N.C.	NORMALLY CLOSED
NIC	NOT IN CONTRACT
N.O.	NORMALLY OPEN
SCCR	SHORT CIRCUIT CURRENT RATING
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE

APPLICABLE CODES	
CONTRACTOR SHALL COMPLY WITH APPLICABLE CODES AND LOCAL AMENDMENTS.	
BUILDING CODE:	MICHIGAN BUILDING CODE/2015
MECHANICAL CODE:	MICHIGAN MECHANICAL CODE/2015
PLUMBING CODE:	MICHIGAN PLUMBING CODE/2015
ELECTRICAL CODE:	MICHIGAN ELECTRICAL CODE/2017
FIRE PREVENTION CODE:	NFPA FIRE CODE/2015
APPLICABLE CITY OF ANN ARBOR RULES AND REGULATIONS	

FIRE PROTECTION SYMBOL LIST	
NOT ALL SYMBOLS MAY APPLY.	
SYMBOL:	DESCRIPTION:
	COMPRESSED AIR - FIRE PROTECTION
	DRAIN
	FIRE PROTECTION
	FIRE PROTECTION - DRY SYSTEM
	SERVICE WATER - POTABLE
	PIPE CAP
	PIPE DOWN
	PIPE UP OR UP/DOWN
	UNION/FLANGE
	DIRECTION OF FLOW IN PIPE
	ROUTE TO DRAIN
	SHUTOFF VALVE NORMALLY OPEN
	AUTOMATIC DRAIN VALVE
	AIR PRESSURE MAINTENANCE DEVICE
	AIR SUPERVISORY SWITCH
	ANGLE VALVE
	BUTTERFLY VALVE WITH MONITOR SWITCH
	CHECK VALVE
	BACKFLOW PREVENTER
	INSPECTOR TEST AND DRAIN VALVE
	OS&Y GATE VALVE
	OS&Y GATE VALVE WITH MONITOR SWITCH
	FLOW SWITCH
	PRESSURE SWITCH
	PRESSURE GAUGE (FURNISHED WITH BALL VALVE)
	MONITOR SWITCH
	AREA BOUNDARY
	SPRINKLER - WALL MOUNTED
	SPRINKLER
	SPRINKLER - CONCEALED
	SPRINKLER
	SPRINKLER
	SPRINKLER
	SPRINKLER
	SPRINKLER

FIELD TESTING AND FLUSHING:

- OVERHEAD SYSTEM HYDROSTATIC TEST @ 200 PSI FOR 2 HOURS.
- UNDERGROUND SYSTEM SHALL BE INSTALLED, FLUSHED AND TESTED BY CIVIL CONTRACTOR.
- UNDERGROUND MAINS AND LEAD-IN CONNECTIONS TO SYSTEM RISERS SHALL BE COMPLETELY FLUSHED BEFORE CONNECTION IS MADE TO OVERHEAD SPRINKLER PIPING. WHERE UNDERGROUND PIPING IS FLUSHED AND NOT IMMEDIATELY CONNECTED TO THE OVERHEAD PIPING, THE RISER SHALL BE CAPPED OR OTHERWISE PROTECTED TO PREVENT DEBRIS, DIRT, OR ANIMALS FROM ENTERING INTO THE UNDERGROUND PIPING (WITNESSED BY THE PROJECT INSPECTOR).
- PROVIDE INSPECTION AND HYDROSTATIC TEST CERTIFICATE AND SUBMIT THE CONTRACTOR'S MATERIAL AND TEST CERTIFICATES FOR ABOVE GROUND PIPING.

HANGER NOTES:

- HANGING OF SYSTEM PIPING SHALL BE PER NFPA 13, SECTION 9.1 & 9.2.
- BUILDING STRUCTURAL BEAMS SHALL BE ADEQUATE TO SUPPORT THE SYSTEM. SPRINKLER PIPING OR HANGERS SHALL NOT BE USED TO SUPPORT NON-SYSTEM COMPONENTS. THE DISTANCE BETWEEN A HANGER AND THE CENTERLINE OF AN UPRIGHT SPRINKLER SHALL BE LESS THAN 3 INCHES (76 MM).
- HOLES THROUGH SOLID STRUCTURAL MEMBERS SHALL BE PERMITTED TO SERVE AS HANGERS FOR THE SUPPORT OF SYSTEM PIPING PROVIDED SUCH HOLES ARE PERMITTED BY APPLICABLE BUILDING CODES AND THE SPACING AND SUPPORT PROVISIONS FOR HANGERS OF NFPA 13 ARE SATISFIED.
- THE MAXIMUM DISTANCE BETWEEN HANGERS SHALL NOT EXCEED THAT SPECIFIED IN TABLE NFPA 13, 9.2.2.1(A), EXCEPT WHERE THE PROVISIONS OF NFPA 13, SECTION 9.2.4 APPLY. TABLE 9.2.2.1(a) MAXIMUM DISTANCE BETWEEN HANGERS

STEEL PIPE EXCEPT THREADED LIGHTWALL	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	3"	3 1/2"	4"	5"	6"	8"
THREADED LIGHTWALL	N/A	12'-0"	12'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"	15'-0"
THREADED LIGHTWALL	N/A	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	12'-0"	N/A	N/A	N/A	N/A	N/A

- THERE SHALL BE NOT LESS THAN ONE HANGER FOR EACH SECTION OF PIPE, EXCEPT WHERE SPRINKLERS AND MULTIPLE PIPE FITTINGS ARE SPACED LESS THAN 6 FT APART. HANGERS SHALL BE SPACED UP TO A MAXIMUM OF 12'-0"; HANGERS ARE NOT REQUIRED WHERE BRANCH LINES STARTER LENGTHS ARE LESS THAN 6'-0", UNLESS ON THE END LINE OF A SIDE FEED SYSTEM OR WHERE AN INTERMEDIATE CROSS MAIN HANGER HAS BEEN OMITTED.
- THE UNSUPPORTED LENGTH BETWEEN THE END SPRINKLER AND THE LAST HANGER ON THE LINE SHALL NOT BE GREATER THAN 36" FOR 1" PIPE, 48" FOR 1 1/4" PIPE, AND 60" FOR 1 1/2" OR LARGER PIPE. WHERE THE LIMITS ARE EXCEEDED, THE PIPE SHALL BE EXTENDED BEYOND THE END SPRINKLER AND SHALL BE SUPPORTED BY AN ADDITIONAL HANGER.
- THE CUMULATIVE HORIZONTAL LENGTH OF AN UNSUPPORTED ARMORER TO A SPRINKLER, SPRINKLER DROP OR SPRIG SHALL NOT EXCEED 24' FOR STEEL PIPE.
- LOCATION OF HANGERS ON MAINS SHALL COMPLY WITH NFPA 13, SECTION 9.2.4 FOR STEEL PIPE CROSS MAINS. A HANGER CAN BE INSTALLED BETWEEN EVERY TWO BRANCH LINES OR, ALTERNATIVELY, ON EACH BRANCH LINE AS NEAR AS POSSIBLE TO THE CROSS MAIN, WHILE OMITTING ONE INTERMEDIATE CROSS MAIN HANGER IN EACH BAY. THE OPTION TO OMIT THE INTERMEDIATE CROSS MAIN HANGER APPLIES TO THE LAST PIECE OF CROSS MAIN ONLY IF THE MAIN IS EXTENDED TO THE NEXT FRAMING MEMBER AND HANGER IS INSTALLED AT THAT POINT.

21 13 00 FIRE PROTECTION SYSTEMS

QUALITY ASSURANCE

WELDING MATERIALS AND PROCEDURES: CONFORM TO ASME CODE.

EQUIPMENT AND COMPONENTS: BEAR UL/FM LABEL OR MARKING.

VALVES: BEAR UL/FM LABEL OR MARKING. PROVIDE MANUFACTURER'S NAME AND PRESSURE RATING MARKED ON VALVE BODY. PRESSURE RATING SHALL MATCH SPECIFIED PIPE SYSTEM PRESSURE RATING. REMANUFACTURED VALVES ARE NOT ACCEPTABLE.

SPECIALIST FIRM: COMPANY SPECIALIZING IN SPRINKLER SYSTEMS WITH MINIMUM THREE YEARS EXPERIENCE.

SPRINKLER DESIGN DRAWINGS SUBMITTED BY THE CONTRACTOR SHALL BE DESIGNED, CERTIFIED, AND SHALL INCLUDE THE NICET CERTIFICATION BLOCK OR THE PROFESSIONAL ENGINEER SEAL OF THE FIRE PROTECTION DESIGNER. FIRE PROTECTION DESIGNER SHALL BE NICET LEVEL III OR LEVEL IV CERTIFIED OR BE A LICENSED PROFESSIONAL ENGINEER.

SUBMITTALS

SUBMIT SHOP DRAWINGS INDICATING PIPE MATERIALS, JOINING METHODS, SUPPORTS, FLOOR AND WALL PENETRATION SEALS, SPRINKLERS, EQUIPMENT DATA AND RATINGS, AND HYDRAULIC CALCULATIONS.

SUBMIT DETAILED PIPE AND SPRINKLER LAYOUT AND OTHER CALCULATIONS AND FORMS AS DESCRIBED IN NFPA 13.

SUBMIT DETAILED WORKING DRAWINGS AND OBTAIN REVIEW OF THEM IN THE FOLLOWING ORDER:

- 1. ENGINEER
2. AUTHORITY HAVING JURISDICTION

BEGIN CONSTRUCTION AFTER ALL APPROVALS ARE RECEIVED.

WORKING DRAWINGS SHALL INCLUDE PIPING AND SPRINKLER LAYOUT, SPRINKLER TYPES AND RATINGS, SECTIONS AND ELEVATIONS AT CRITICAL POINTS. SHOW COORDINATION WITH LIGHTING, DUCTWORK, AND DIFFUSERS, AND INDICATE BASIC FLOW AND HYDRAULIC DESIGN INFORMATION, INCLUDING MAIN LOCATION AND DATE THAT THE TEST WAS TAKEN.

PROVIDE THE OWNER WITH ONE COPY OF NFPA 25, STANDARD FOR THE INSPECTION TESTING AND MAINTENANCE OF WATER-BASED FIRE PROTECTION SYSTEMS.

EXTRA STOCK

PROVIDE METAL STORAGE CABINET, WRENCHES FOR EACH SPRINKLER TYPE, AND EXTRA SPRINKLERS PER NFPA 13 AND APPLICABLE BUILDING CODE.

DELIVERY, STORAGE, AND HANDLING

STORE VALVES AND SPRINKLERS IN SHIPPING CONTAINERS, WITH LABELS IN PLACE.

PROVIDE TEMPORARY PROTECTIVE COATING ON IRON AND STEEL VALVES.

MAINTAIN TEMPORARY END CAPS AND CLOSURES IN PLACE UNTIL INSTALLATION.

SYSTEM DESCRIPTION

SYSTEM SHALL COVER BUILDING AREAS NOTED.

SYSTEM INTERFACE WITH BUILDING FIRE ALARM SYSTEM INCLUDING ALL REQUIRED WIRING SHALL BE BY OTHERS.

REGULATORY REQUIREMENTS

ALL MATERIAL, EQUIPMENT, AND INSTALLATION SHALL BE APPROVED BY THE AUTHORITIES HAVING JURISDICTION. THE AUTHORITIES HAVING JURISDICTION SHALL HAVE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS IN CASE OF DISCREPANCIES. THE ENTIRE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE CODES.

SYSTEM DESIGN

DESIGN AND INSTALL A COMPLETE, HYDRAULICALLY CALCULATED WET PIPE SPRINKLER SYSTEM FOR THE ENTIRE AREA OF WORK IDENTIFIED ON DRAWINGS. PROVIDE ALL REQUIRED EQUIPMENT AND ACCESSORIES.

SYSTEM SHALL INCLUDE A 5 PSI ALLOWANCE FOR FUTURE DECREASE IN AVAILABLE PRESSURE AND AN ALLOWANCE FOR INSIDE AND OUTSIDE HOSE STREAMS.

PROVIDE MONITOR SWITCHES ON ALL SHUTOFF VALVES.

PROVIDE FLOW SWITCHES, MONITOR SWITCHES, AND PRESSURE GAUGES WHERE REQUIRED BY CODE.

PROVIDE MAIN DRAIN VALVE PIPED TO OUTSIDE THE BUILDING. LOCATE SO DISCHARGE DOES NOT DAMAGE LAWN OR OTHER SURFACES.

OPERATION AND MAINTENANCE DATA

SUBMIT MANUFACTURERS' OPERATION AND MAINTENANCE DATA. INCLUDE WRITTEN MAINTENANCE DATA ON COMPONENTS OF SYSTEM, SERVICING REQUIREMENTS, AND RECORD DRAWINGS.

JOB CONDITIONS

FIRE PROTECTION CONTRACTOR SHALL DETERMINE THE FLOW AND PRESSURE AVAILABLE AT THE SERVICE CONNECTION. THE FIRE PROTECTION CONTRACTOR IS RESPONSIBLE TO VERIFY THIS INFORMATION AND MAKE ALL TESTS REQUIRED. BASE ALL PIPE SIZING AND HYDRAULIC CALCULATIONS ON FLOW TEST DATA NO OLDER THAN 12 MONTHS.

PIPE SIZING SHOWN ON DRAWINGS IS PRELIMINARY FOR COORDINATION PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR FINAL SIZING FROM HYDRAULIC CALCULATIONS.

PIPE AND FITTINGS

STEEL PIPE (INSIDE BUILDING ABOVE GRADE):

- 1. PIPE: 2" AND UNDER - SCHEDULE 40, BLACK STEEL, ASTM A53. THREADED AND COUPLED OR FLANGED.
2. JOINTS: 2" AND UNDER - SCREWED OR FLANGED.
3. FITTINGS: SCREWED - CAST IRON, 125 LB., BLACK, ANSI/ASME B16.4 OR MALLEABLE IRON, 150 LB., BLACK, ANSI/ASME B16.3. FLANGED CAST IRON, 125 LB., ANSI/ASME B16.1.
5. PAINT: LOW-LUSTER, ACRYLIC-ENAMEL FINISH: TWO FINISH COATS OVER A FACTORY-APPLIED PRIMER, OR INDICATED PRIMER AS APPLICABLE.
A. PRIMER (FOR FACTORY-UNPRIMED WORK): WATERBORNE, RUST INHIBITIVE, ACRYLIC PRIMER; TOTAL DRY FILM THICKNESS OF NOT LESS THAN 2.0 MILS. 1) SUPERSPEC HP ACRYLIC METAL PRIMER P04.
B. FINISH COATS: LOW-LUSTER (EGGSHELL), ACRYLIC-LATEX, INTERIOR ENAMEL; TOTAL DRY FILM THICKNESS OF NOT LESS THAN 2.6 MILS. 1) SUPER SPEC LATEX EGGSHELL ENAMEL 274. 2)
C. COLOR: SELECTED BY OWNER.

STEEL PIPE (INSIDE BUILDING ABOVE GRADE):

- 1. PIPE: 2-1/2" AND OVER - SCHEDULE 10, BLACK STEEL, GROOVED, ASTM A135.
2. JOINTS: MECHANICALLY COUPLED GROOVED.
3. FITTINGS: 500 LB. WOG, BLACK, MALLEABLE IRON, ASTM A47.
4. PLAIN END FITTINGS AND COUPLINGS ARE NOT ACCEPTABLE.
5. PAINT: LOW-LUSTER, ACRYLIC-ENAMEL FINISH: TWO FINISH COATS OVER A FACTORY-APPLIED PRIMER, OR INDICATED PRIMER AS APPLICABLE.
A. PRIMER (FOR FACTORY-UNPRIMED WORK): WATERBORNE, RUST INHIBITIVE, ACRYLIC PRIMER; TOTAL DRY FILM THICKNESS OF NOT LESS THAN 2.0 MILS. 1) SUPERSPEC HP ACRYLIC METAL PRIMER P04.
B. FINISH COATS: LOW-LUSTER (EGGSHELL), ACRYLIC-LATEX, INTERIOR ENAMEL; TOTAL DRY FILM THICKNESS OF NOT LESS THAN 2.6 MILS. 1) SUPER SPEC LATEX EGGSHELL ENAMEL 274. 2)
C. COLOR: SELECTED BY OWNER.

UNIONS AND COUPLINGS

UNIONS: 175 PSI MALLEABLE IRON FOR THREADED FERROUS PIPING.

MECHANICAL GROOVED COUPLINGS: MALLEABLE IRON HOUSING CLAMPS TO ENGAGE AND LOCK. DESIGNED TO PERMIT SOME ANGULAR AND LONGITUDINAL DEFLECTION. "C" SHAPED COMPOSITION SEALING GASKET, STEEL BOLTS, NUTS, AND WASHERS. 175 PSI, ASTM A47. PLAIN END FITTINGS AND COUPLINGS ARE NOT ACCEPTABLE. ROLLED GROOVE COUPLINGS FOR SCHEDULE 10 PIPE. CUT GROOVE COUPLINGS FOR SCHEDULE 40 PIPE. COUPLINGS SHALL BE ENAMEL COATED FOR WET SYSTEMS AND GALVANIZED FOR DRY PIPE SYSTEMS. ACCEPTABLE MANUFACTURERS: VICTAULIC, ITT, GRINNELL, CENTRAL, ANVIL GRUVLOK, STAR FITTINGS.

COUPLINGS USED IN SEISMIC AREAS SHALL BE "FLEXIBLE" TYPE.

COUPLING GASKETS FOR WET SYSTEMS SHALL BE GRADE "E" EDPM TYPE A. GASKETS FOR DRY PIPE SYSTEMS SHALL BE LISTED FOR DRY PIPE SERVICE, VICTAULIC FLUSHSEAL OR EQUIVALENT.

VALVE CONNECTIONS

PROVIDE ALL CONNECTIONS TO MATCH PIPE JOINTS. VALVES SHALL BE SAME SIZE AS PIPE.

INSTALLATION - PIPING

COORDINATE PIPING AND SPRINKLER LOCATIONS WITH ALL OTHER TRADES. DUCTWORK, DIFFUSERS AND LIGHT FIXTURE LOCATIONS SHALL HAVE PRIORITY OVER SPRINKLER PIPING AND SPRINKLERS. LOCATE PIPING TO MINIMIZE OBSTRUCTION OF OTHER WORK. ROUTE PIPING IN CONCEALED SPACES ABOVE FINISHED CEILING. USE FULL AND DOUBLE LENGTHS OF PIPE WHEREVER POSSIBLE. SLOPE ALL PIPING FOR COMPLETE DRAINAGE. INSTALL AUXILIARY DRAINS FOR ALL TRAPPED PIPING PER NFPA 13.

REAM PIPE AND TUBE ENDS TO FULL INSIDE DIAMETER. REMOVE BURRS. REMOVE SCALE AND FOREIGN MATERIAL, INSIDE AND OUTSIDE, BEFORE ASSEMBLY.

DIE CUT SCREW JOINTS WITH FULL CUT STANDARD TAPER PIPE THREADS. COAT THREADS WITH PIPE JOINT COMPOUND OR WRAP WITH TEFLON TAPE.

REDUCERS ARE GENERALLY NOT SHOWN. WHERE PIPE SIZES CHANGE AT TEE, THE TEE SHALL BE THE SIZE OF THE LARGEST PIPE SHOWN CONNECTING TO IT.

COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.

STEEL PIPING:

IN STEEL PIPING, MAIN SIZED SADDLE BRANCH CONNECTIONS OR DIRECT CONNECTION OF BRANCHES TO MAIN IS PERMITTED IF MAIN IS ONE PIPE SIZE LARGER THAN THE BRANCH FOR UP TO 6" MAINS AND IF MAIN IS TWO PIPE SIZES LARGER THAN BRANCH FOR 8" AND LARGER MAINS. DO NOT PROJECT BRANCH PIPES INTO MAIN PIPES.

WALL/FLOOR PENETRATION:

PROVIDE SLEEVES WHEN PENETRATING FLOORS AND WALLS.

SEAL PIPES PASSING THROUGH EXTERIOR WALLS WITH A WALL SEAL PER SECTION 21 05 29. PROVIDE SCHEDULE 40 GALVANIZED SLEEVE AT LEAST 2 PIPE SIZES LARGER THAN THE PIPE. SLEEVES THROUGH FLOORS SHALL EXTEND MINIMUM 1.5" ABOVE FINISHED FLOOR.

FIRE SEAL ALL PIPE AND SLEEVE PENETRATIONS (BOTH WALL AND FLOOR) TO MAINTAIN FIRE SEPARATION REQUIRED WITHOUT RESTRAINING PIPE.

INSTALLATION REQUIREMENTS IN ELECTRICAL ROOMS:

DO NOT INSTALL PIPING OR OTHER EQUIPMENT ABOVE ELECTRICAL SWITCHBOARDS OR PANELBOARDS. THIS INCLUDES A DEDICATED SPACE EXTENDING 25 FEET FROM THE FLOOR TO THE STRUCTURAL CEILING WITH WIDTH AND DEPTH EQUAL TO THE EQUIPMENT. FIRE PROTECTION EQUIPMENT DEDICATED TO THE ELECTRICAL EQUIPMENT ROOM OR SPACE MAY BE INSTALLED ABOVE EQUIPMENT IF OTHER ALTERNATIVES ARE NOT AVAILABLE.

HANGERS AND SUPPORTS:

PROVIDE HANGERS AND SUPPORTS AS REQUIRED BY NFPA 13 AND UL/FM, WITH THE FOLLOWING EXCEPTIONS:

- 1. DO NOT USE POWDER DRIVEN DEVICES, EXPLOSIVE DEVICES, WOODEN PLUGS, OR PLASTIC INSERTS.
2. DO NOT INSTALL FASTENERS TO CARRY THE LOAD IN TENSION, UNLESS ABSOLUTELY NECESSARY.

EXPOSED PIPING:

- 1. INSTALL CHROME PLATED STEEL ESCUTCHEONS WHERE EXPOSED PIPES PENETRATE WALLS OR FLOORS.

INSTALLATION - VALVES

INSTALL GATE VALVES WITH STEMS UPRIGHT OR HORIZONTAL, NOT INVERTED. PROVIDE DRAIN VALVES AT MAIN SHUTOFF VALVES. LOW POINTS OF PIPING AND APPARATUS.

INSTALLATION - EQUIPMENT

LOCATE SPRINKLERS TO CLEAR LIGHTS, DUCTS AND DIFFUSERS. DO NOT RUN SPRINKLER PIPES THROUGH DUCTS. DUCTWORK HAS PRIORITY OVER SPRINKLER PIPES. OFFSET PIPES AS NEEDED.

CENTER SPRINKLERS IN TWO DIRECTIONS IN CEILING TILES AND PROVIDE OFFSETS AS REQUIRED.

DO NOT ALLOW CONCEALED SPRINKLER COVER PLATES TO BE PAINTED. SPRINKLER COVER PLATES ARE TO BE FACTORY PAINTED ONLY. DO NOT FIELD PAINT.

APPLY STRIPPABLE OR PAPER COVERS SO CONCEALED SPRINKLER COVER PLATES DO NOT RECEIVE FIELD PAINT FINISH.



MILLER MANOR FIRE SUPPRESSION DESIGN

727 Miller Ave. Ann Arbor, Michigan 48103



201 SOUTH ANN ARBOR STREET SALINE, MI 48176

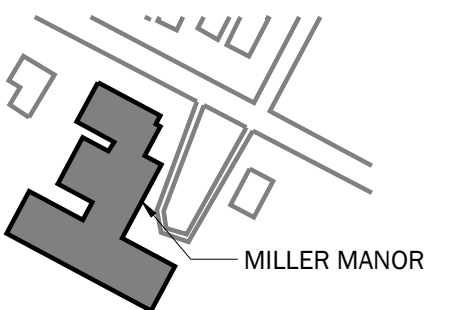
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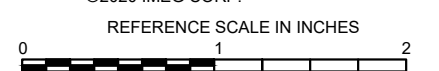
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REVISIONS

Table with 3 columns: No., Date, Revision / Issue. Contains three rows of revision information.



SHEET INFORMATION

Table with 2 columns: Field, Value. Contains sheet information such as Issue, Date, Job Number, Drawn, Checked, and Approved.

SHEET TITLE

SPECIFICATIONS

SCALE

SHEET NUMBER

G002

Vertical text on the left margin: ##### 05/31/2022 #####



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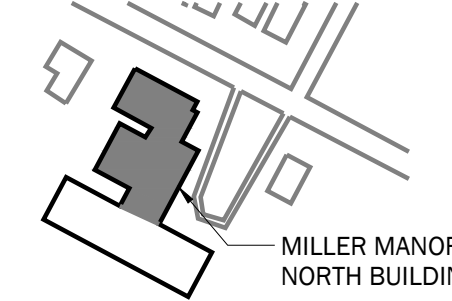
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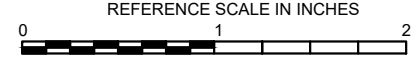
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REVISIONS

No.	Date	Revision / Issue
A	04/01/2022	75% REVIEW
B	05/18/2022	ISSUED FOR BIDS
C	05/31/2022	ADDENDUM #1

SHEET INFORMATION

Issue	ADDENDUM #1
Date	05/31/2022
Job Number	22001233.00
Drawn	R. O'QUINN
Checked	D. NIETHAMMER
Approved	D. NIETHAMMER

**PARTIAL 1ST FLOOR PLAN (NORTH)
- FIRE SUPPRESSION NEW WORK**

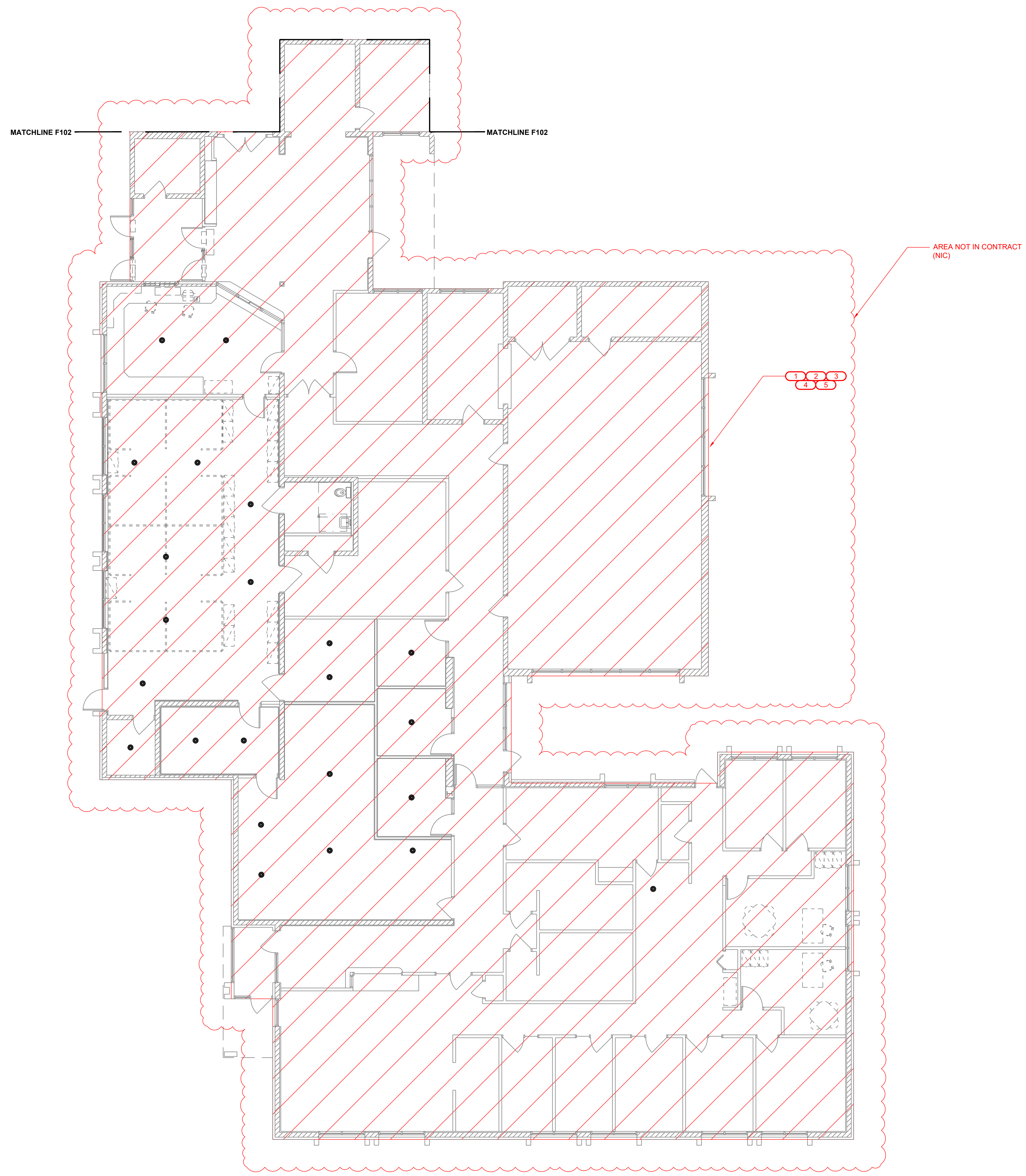
SCALE

SHEET NUMBER

F101

- DRAWING NOTES:**
1. FIRE PROTECTION PIPE ROUTING IS SHOWN TO INDICATE DESIGN INTENT. FIRE PROTECTION CONTRACTOR SHALL PROVIDE DETAILED WORKING DRAWINGS, INCLUDING BUT NOT LIMITED TO: EXACT NUMBER AND LOCATION OF SPRINKLERS, PIPE SIZING AND ROUTING BASED ON HYDRAULIC CALCULATIONS, HANGER LOCATIONS, SEISMIC BRACING CALCULATIONS, ETC. REFER TO NFPA 13 FOR COMPLETE LIST OF REQUIREMENTS. SUBMIT TO A/E AND A/HJ FOR APPROVAL.
 2. SEE GENERAL NOTES, SPECIFICATIONS, AND ADDITIONAL PROJECT INFORMATION ON GENERAL DRAWINGS.
 3. NEW WORK SHOWN IN RED.
 4. DRAWINGS DIAGRAMMATICALLY INDICATE THE GENERAL SCOPE OF WORK, BUT DO NOT PROVIDE EXACT SCALE OR LOCATIONS. PROPER INSTALLATION OF ALL SYSTEMS, AFTER COORDINATION WITH OTHER TRADES, IS THE CONTRACTORS RESPONSIBILITY.
 5. ELEVATIONS ON DRAWINGS ARE TO BOTTOM OF FIXTURE OR AS OTHERWISE NOTED.
 6. PAINT ALL EXPOSED PIPING TO MATCH BACKGROUND OR AS DIRECTED BY THE OWNER.

- KEYNOTES:** (X)
1. AREAS TO BE REVIEWED FOR COMPLIANCE WITH CURRENT FIRE SUPPRESSION CODES.
 2. FIRE SUPPRESSION CONTRACTOR TO REVIEW AND SUBMIT PLANS FOR AREA SHOWN WITH HYDRAULIC CALCULATIONS AND SYSTEM DESIGN TO THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ). ANY AND ALL MODIFICATIONS TO THE FIRE SUPPRESSION SYSTEM SHALL COMPLY WITH CURRENT CODES.
 3. ACTIVATION OF FIRE SUPPRESSION SYSTEM SHALL ALSO ACTIVATE FIRE ALARM SYSTEM/STROBE AND ANNUNCIATOR SYSTEM.
 4. CONTRACTOR TO PROVIDE FIRE WATCH ANY TIME THE FIRE SUPPRESSION SYSTEM IS DEACTIVATED.
 5. COORDINATE WORK WITH OWNER, ENGINEER, OTHER TRADES, AND FIRE ALARM COMPANY.



1 PARTIAL 1ST FLOOR PLAN (NORTH) - FIRE SUPPRESSION NEW WORK
1/8" = 1'-0" (24"x36" DRAWINGS)

05/31/2022



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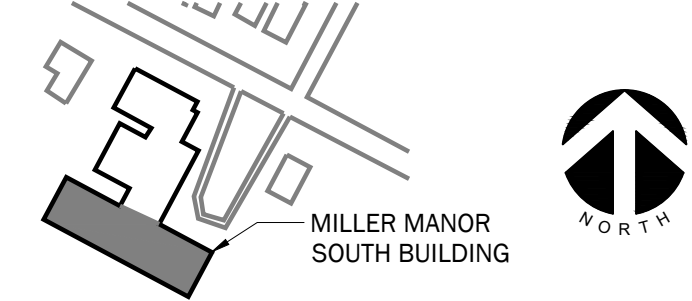
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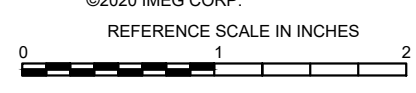
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REVISIONS

No.	Date	Revision / Issue
A	04/01/2022	75% REVIEW
B	05/18/2022	ISSUED FOR BIDS
C	05/31/2022	ADDENDUM #1

SHEET INFORMATION

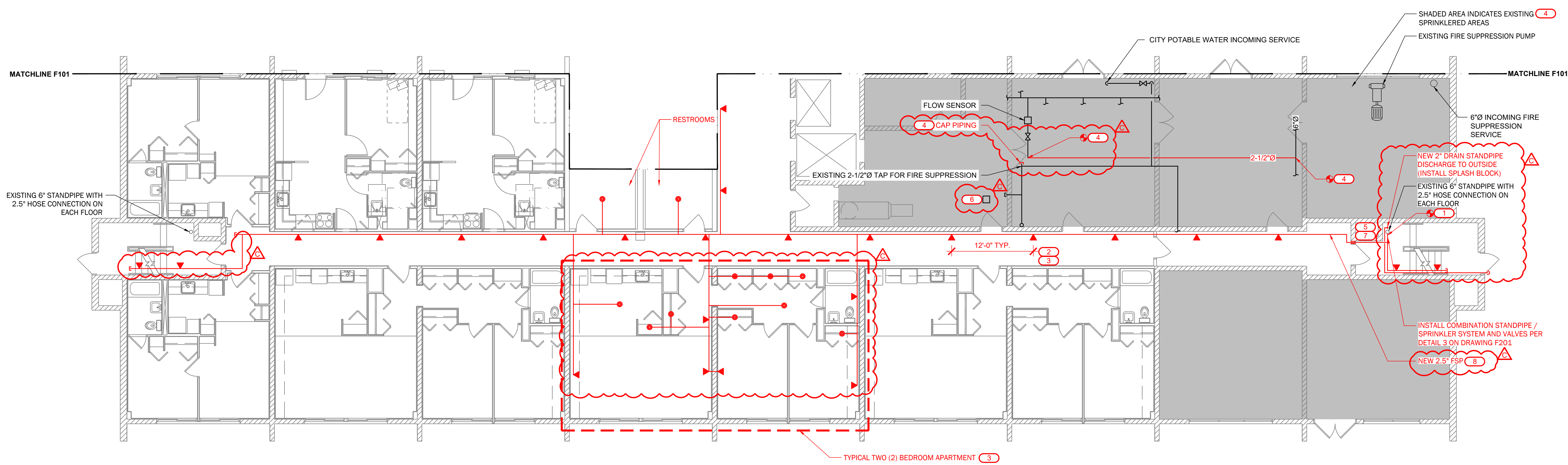
Issue	ADDENDUM #1
Date	05/31/2022
Job Number	22001233.00
Drawn	R. O'QUINN
Checked	D. NIETHAMMER
Approved	D. NIETHAMMER

PARITAL FIRST FLOOR (SOUTH) - FIRE SUPPRESSION NEW WORK

SCALE

SHEET NUMBER

F102



1 PARITAL FIRST FLOOR PLAN (SOUTH) - FIRE SUPPRESSION NEW WORK

1/8" = 1'-0" (FOR 24"x36" DRAWINGS ONLY)

- DRAWING NOTES:**
1. FIRE PROTECTION PIPE ROUTING IS SHOWN TO INDICATE DESIGN INTENT. FIRE PROTECTION CONTRACTOR SHALL PROVIDE DETAILED WORKING DRAWINGS, INCLUDING BUT NOT LIMITED TO: EXACT NUMBER AND LOCATION OF SPRINKLERS, PIPE SIZING AND ROUTING BASED ON HYDRAULIC CALCULATIONS, HANGER LOCATIONS, SEISMIC BRACING CALCULATIONS, ETC. REFER TO NFPA 13 FOR COMPLETE LIST OF REQUIREMENTS. SUBMIT TO A/E AND AHJ FOR APPROVAL.
 1. SEE GENERAL NOTES, SPECIFICATIONS, AND ADDITIONAL PROJECT INFORMATION ON GENERAL DRAWINGS.
 2. NEW WORK SHOWN IN RED.
 3. DRAWINGS DIAGRAMMATICALLY INDICATE THE GENERAL SCOPE OF WORK, BUT DO NOT PROVIDE EXACT SCALE OR LOCATIONS. PROPER INSTALLATION OF ALL SYSTEMS, AFTER COORDINATION WITH OTHER TRADES, IS THE CONTRACTORS RESPONSIBILITY.
 4. ELEVATIONS ON DRAWINGS ARE TO BOTTOM OF FIXTURE OR AS OTHERWISE NOTED.
 5. PAINT ALL EXPOSED PIPING TO MATCH BACKGROUND OR AS DIRECTED BY OWNER.
 6. CONTRACTOR IS RESPONSIBLE FOR ALL ARCHITECTURAL REPAIRS ASSOCIATED WITH THIS PROJECT.

- KEYNOTES:** (X)
1. INSTALL NEW TAP AT 6" STANDPIPE AND COMPONENTS AS SHOWN. FLOW SENSORS INSTALLED UNDER THIS FIRE SUPPRESSION CONTRACT. WIRED TO PANEL BY FIRE ALARM CONTRACTOR.
 2. INSTALL NEW FIRE SUPPRESSION PIPING AND SPRINKLERS IN HALLWAY AS SHOWN. ALTERNATE SPACING FOR SPRINKLERS MAY BE USED PROVIDED THE SPRINKLERS ARE INSTALLED ACCORDING TO NFPA 13 AND THE SPRINKLER LISTING REQUIREMENTS.
 3. INSTALL NEW FIRE SUPPRESSION PIPING AND SPRINKLERS IN ALL TWO (2) BEDROOM APARTMENTS (AS SHOWN ON THIS DRAWING), AND ALL ONE (1) BEDROOM APARTMENTS (REFER TO F103 FOR TYPICAL ONE (1) BEDROOM APARTMENT).
 4. CONTRACTOR TO INSTALL NEW 2-1/2" PIPING FROM "PUMP SYSTEM" TO NEW TIE-IN LOCATION SHOWN TO TIE FIRE SPRINKLERS IN SHADED AREAS INTO MAIN FIRE SUPPRESSION SERVICE TO BUILDING. CAP EXISTING PIPING AS SHOWN.
 5. PENETRATE WALL AND INSTALL NEW SLEEVE AND FIRE STOPPING FOR FIRE ALARM CONTRACTOR (ON FLOORS 1, 2, 3, 4, 5, 6, 7). COORDINATE LOCATION AND SIZE WITH FIRE ALARM CONTRACTOR.
 6. INSTALL NEW FLOW SWITCH, COORDINATE REPLACEMENT WITH FIRE ALARM CONTRACTOR.
 7. ALL WALL PENETRATIONS AND SLEEVES BY FIRE SUPPRESSION CONTRACTOR. FIRE SUPPRESSION CONTRACTOR TO COORDINATE WITH FIRE ALARM CONTRACTOR ON LOCATION AND SIZE OF WALL OPENINGS. FIRE ALARM CONDUIT AND WIRING BY FIRE ALARM CONTRACTOR.
 8. NEW FIRE SUPPRESSION PIPING SHALL BE ROUTED TO AVOID BLOCKING EXISTING ELECTRICAL JUNCTION BOXES.

05/31/2022



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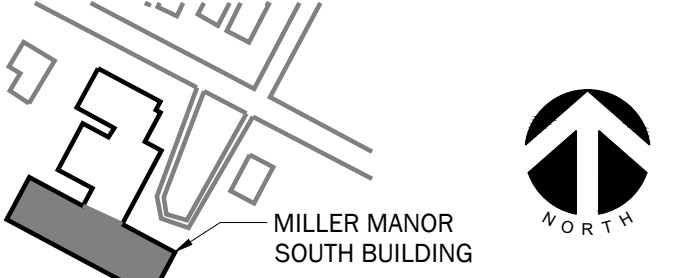
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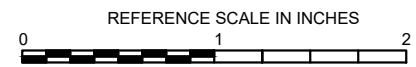
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REVISIONS

No.	Date	Revision / Issue
A	04/01/2022	75% REVIEW
B	05/18/2022	ISSUED FOR BIDS
C	05/31/2022	ADDENDUM #1

SHEET INFORMATION

Issue	ADDENDUM #1
Date	05/31/2022
Job Number	22001233.00
Drawn	R. O'QUINN
Checked	D. NIETHAMMER
Approved	D. NIETHAMMER

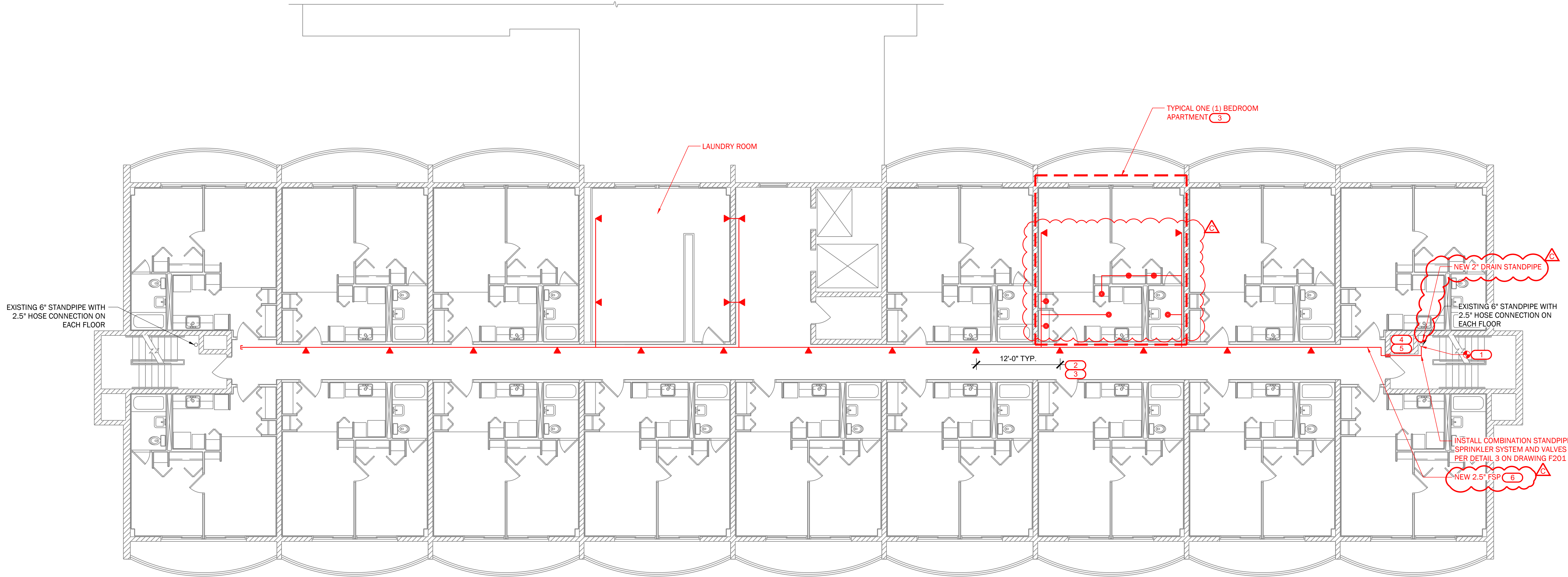
SHEET TITLE

**SECOND FLOOR PLAN
- FIRE SUPPRESSION NEW WORK**

SCALE

SHEET NUMBER

F103



1 SECOND FLOOR PLAN - FIRE SUPPRESSION NEW WORK
1/8" = 1'-0" (FOR 24"x36" DRAWINGS ONLY)

- DRAWING NOTES:**
1. FIRE PROTECTION PIPE ROUTING IS SHOWN TO INDICATE DESIGN INTENT. FIRE PROTECTION CONTRACTOR SHALL PROVIDE DETAILED WORKING DRAWINGS, INCLUDING BUT NOT LIMITED TO: EXACT NUMBER AND LOCATION OF SPRINKLERS, PIPE SIZING AND ROUTING BASED ON HYDRAULIC CALCULATIONS, HANGER LOCATIONS, SEISMIC BRACING CALCULATIONS, ETC. REFER TO NFPA 13 FOR COMPLETE LIST OF REQUIREMENTS. SUBMIT TO A/E AND AHJ FOR APPROVAL.
 1. SEE GENERAL NOTES, SPECIFICATIONS, AND ADDITIONAL PROJECT INFORMATION ON GENERAL DRAWINGS.
 2. NEW WORK SHOWN IN RED.
 3. DRAWINGS DIAGMATICALLY INDICATE THE GENERAL SCOPE OF WORK, BUT DO NOT PROVIDE EXACT SCALE OR LOCATIONS. PROPER INSTALLATION OF ALL SYSTEMS, AFTER COORDINATION WITH OTHER TRADES, IS THE CONTRACTORS RESPONSIBILITY.
 4. ELEVATIONS ON DRAWINGS ARE TO BOTTOM OF FIXTURE OR AS OTHERWISE NOTED.
 5. PAINT ALL EXPOSED PIPING TO MATCH BACKGROUND OR AS DIRECTED BY OWNER.
 6. CONTRACTOR IS RESPONSIBLE FOR ALL ARCHITECTURAL REPAIRS ASSOCIATED WITH THIS PROJECT.

- KEYNOTES:** (X)
1. INSTALL NEW TAP AT 6" MAIN AND COMPONENTS AS SHOWN. FLOW SENSORS INSTALLED UNDER THIS FIRE SUPPRESSION CONTRACT. WIRED TO PANEL BY FIRE ALARM CONTRACTOR.
 2. INSTALL NEW FIRE SUPPRESSION PIPING AND SPRINKLERS IN HALLWAY AS SHOWN. ALTERNATE SPACING FOR SPRINKLERS MAY BE USED PROVIDED THE SPRINKLERS ARE INSTALLED ACCORDING TO NFPA 13 AND THE SPRINKLER LISTING REQUIREMENTS.
 3. INSTALL NEW FIRE SUPPRESSION PIPING AND SPRINKLERS IN ALL TWO (2) BEDROOM APARTMENTS (REFER TO F102 FOR TYPICAL TWO (2) BEDROOM APARTMENT), AND ALL ONE (1) BEDROOM APARTMENTS (AS SHOWN ON THIS DRAWING).
 4. PENETRATE WALL AND INSTALL NEW SLEEVE AND FIRE STOPPING FOR FIRE ALARM CONTRACTOR (ON FLOORS 1, 2, 3, 4, 5, 6, 7). COORDINATE LOCATION AND SIZE WITH FIRE ALARM CONTRACTOR.
 5. ALL WALL PENETRATIONS AND SLEEVES BY FIRE SUPPRESSION CONTRACTOR. FIRE SUPPRESSION CONTRACTOR TO COORDINATE WITH FIRE ALARM CONTRACTOR ON LOCATION AND SIZE OF WALL OPENINGS. FIRE ALARM CONDUIT AND WIRING BY FIRE ALARM CONTRACTOR.
 6. NEW FIRE SUPPRESSION PIPING SHALL BE ROUTED TO AVOID BLOCKING EXISTING ELECTRICAL JUNCTION BOXES.

05/31/2022



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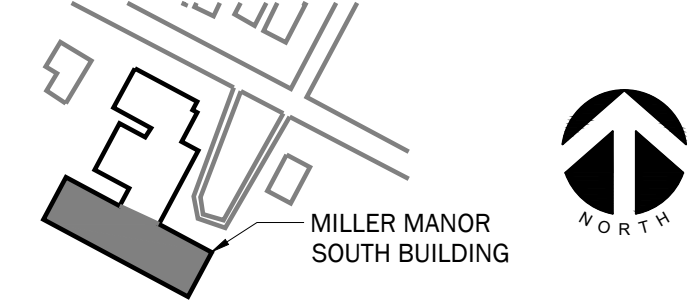
201 SOUTH ANN ARBOR STREET SALINE, MI 48176
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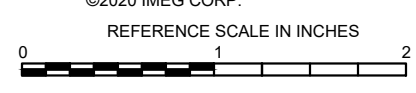
KEY PLAN



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REVISIONS

No.	Date	Revision / Issue
A	04/01/2022	75% REVIEW
B	05/18/2022	ISSUED FOR BIDS
C	05/31/2022	ADDENDUM #1

SHEET INFORMATION

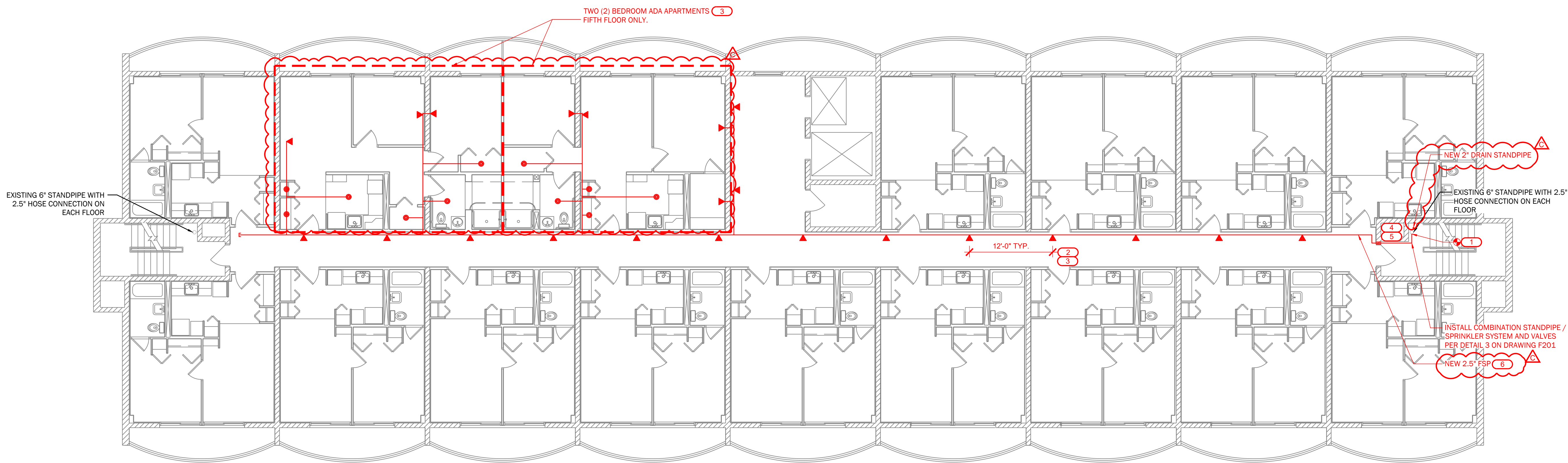
Issue	ADDENDUM #1
Date	05/31/2022
Job Number	22001233.00
Drawn	R. O'QUINN
Checked	D. NIETHAMMER
Approved	D. NIETHAMMER

**THIRD THRU SIXTH FLOOR PLAN
- FIRE SUPPRESSION NEW WORK**

SCALE

SHEET NUMBER

F104



1 THIRD THROUGH SIXTH FLOOR PLAN- FIRE SUPPRESSION NEW WORK
1/8" = 1'-0" (FOR 24"x36" DRAWINGS ONLY)

- DRAWING NOTES:**
- FIRE PROTECTION PIPE ROUTING IS SHOWN TO INDICATE DESIGN INTENT. FIRE PROTECTION CONTRACTOR SHALL PROVIDE DETAILED WORKING DRAWINGS, INCLUDING BUT NOT LIMITED TO: EXACT NUMBER AND LOCATION OF SPRINKLERS, PIPE SIZING AND ROUTING BASED ON HYDRAULIC CALCULATIONS, HANGER LOCATIONS, SEISMIC BRACING CALCULATIONS, ETC. REFER TO NFPA 13 FOR COMPLETE LIST OF REQUIREMENTS. SUBMIT TO A/E AND AHJ FOR APPROVAL.
 - SEE GENERAL NOTES, SPECIFICATIONS, AND ADDITIONAL PROJECT INFORMATION ON GENERAL DRAWINGS.
 - NEW WORK SHOWN IN RED.
 - DRAWINGS DIAGRAMMATICALLY INDICATE THE GENERAL SCOPE OF WORK, BUT DO NOT PROVIDE EXACT SCALE OR LOCATIONS. PROPER INSTALLATION OF ALL SYSTEMS, AFTER COORDINATION WITH OTHER TRADES, IS THE CONTRACTORS RESPONSIBILITY.
 - ELEVATIONS ON DRAWINGS ARE TO BOTTOM OF FIXTURE OR AS OTHERWISE NOTED.
 - PAINT ALL EXPOSED PIPING TO MATCH BACKGROUND OR AS DIRECTED BY OWNER.
 - CONTRACTOR IS RESPONSIBLE FOR ALL ARCHITECTURAL REPAIRS ASSOCIATED WITH THIS PROJECT.

- KEYNOTES:**
- INSTALL NEW TAP AT 6" MAIN AND COMPONENTS AS SHOWN. FLOW SENSORS INSTALLED UNDER THIS FIRE SUPPRESSION CONTRACT. WIRED TO PANEL BY FIRE ALARM CONTRACTOR.
 - INSTALL NEW FIRE SUPPRESSION PIPING AND SPRINKLERS IN HALLWAY AS SHOWN. ALTERNATE SPACING FOR SPRINKLERS MAY BE USED PROVIDED THE SPRINKLERS ARE INSTALLED ACCORDING TO NFPA 13 AND THE SPRINKLER LISTING REQUIREMENTS.
 - INSTALL NEW FIRE SUPPRESSION PIPING AND SPRINKLERS IN ALL TWO (2) BEDROOM APARTMENTS (REFER TO F102 FOR TYPICAL TWO (2) BEDROOM APARTMENT), AND ALL ONE (1) BEDROOM APARTMENTS (REFER TO F103 FOR TYPICAL ONE (1) BEDROOM APARTMENT). SEE THIS DRAWING FOR TWO (2) BEDROOM ADA APARTMENTS.
 - PENETRATE WALL AND INSTALL NEW SLEEVE AND FIRE STOPPING FOR FIRE ALARM CONTRACTOR (ON FLOORS 1, 2, 3, 4, 5, 6, 7). COORDINATE LOCATION AND SIZE WITH FIRE ALARM CONTRACTOR.
 - ALL WALL PENETRATIONS AND SLEEVES BY FIRE SUPPRESSION CONTRACTOR. FIRE SUPPRESSION CONTRACTOR TO COORDINATE WITH FIRE ALARM CONTRACTOR ON LOCATION AND SIZE OF WALL OPENINGS. FIRE ALARM CONDUIT AND WIRING BY FIRE ALARM CONTRACTOR.
 - NEW FIRE SUPPRESSION PIPING SHALL BE ROUTED TO AVOID BLOCKING EXISTING ELECTRICAL JUNCTION BOXES.

05/31/2022



**MILLER MANOR
FIRE SUPPRESSION
DESIGN**
727 Miller Ave.
Ann Arbor, Michigan 48103



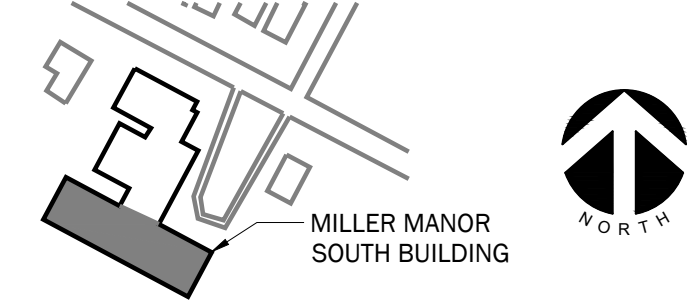
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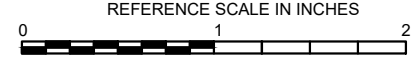
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Issue	ADDENDUM #1
Date	05/31/2022
Job Number	22001233.00
Drawn	R. O'QUINN
Checked	D. NIETHAMMER
Approved	D. NIETHAMMER

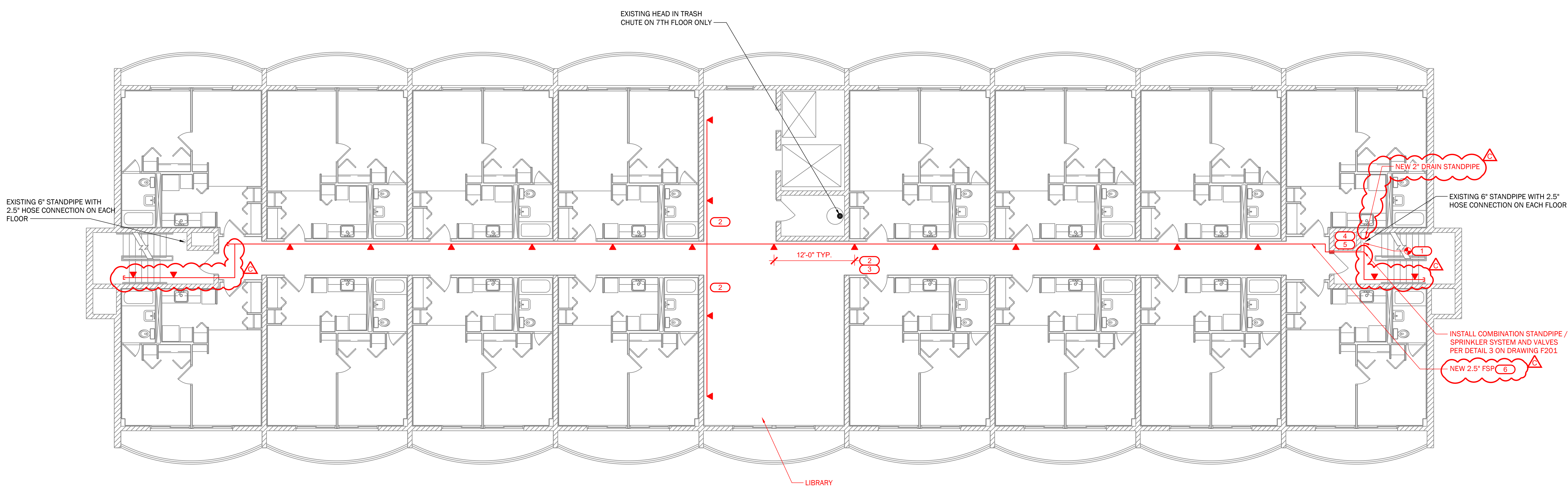
SHEET TITLE

**SEVENTH FLOOR PLAN
- FIRE SUPPRESSION NEW**

SCALE

SHEET NUMBER

F105



1 SEVENTH FLOOR PLAN - FIRE SUPPRESSION NEW WORK
1/8" = 1'-0" (24"x36" DRAWINGS)

- DRAWING NOTES:**
- FIRE PROTECTION PIPE ROUTING IS SHOWN TO INDICATE DESIGN INTENT. FIRE PROTECTION CONTRACTOR SHALL PROVIDE DETAILED WORKING DRAWINGS, INCLUDING BUT NOT LIMITED TO; EXACT NUMBER AND LOCATION OF SPRINKLERS, PIPE SIZING AND ROUTING BASED ON HYDRAULIC CALCULATIONS, HANGER LOCATIONS, SEISMIC BRACING REQUIREMENTS, ETC. REFER TO NFPA 13 FOR COMPLETE LIST OF REQUIREMENTS. SUBMIT TO A/E AND A/HJ FOR APPROVAL.
 - SEE GENERAL NOTES, SPECIFICATIONS, AND ADDITIONAL PROJECT INFORMATION ON GENERAL DRAWINGS.
 - NEW WORK SHOWN IN RED.
 - DRAWINGS DIAGRAMMATICALLY INDICATE THE GENERAL SCOPE OF WORK, BUT DO NOT PROVIDE EXACT SCALE OR LOCATIONS. PROPER INSTALLATION OF ALL SYSTEMS, AFTER COORDINATION WITH OTHER TRADES, IS THE CONTRACTORS RESPONSIBILITY.
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 - PAINT ALL EXPOSED PIPING TO MATCH BACKGROUND OR AS DIRECTED BY OWNER.
 - CONTRACTOR IS RESPONSIBLE FOR ALL ARCHITECTURAL REPAIRS ASSOCIATED WITH THIS PROJECT.

- KEYNOTES:** (X)
- INSTALL NEW TAP AT 6" MAIN AND COMPONENTS AS SHOWN. FLOW SENSORS INSTALLED UNDER THIS FIRE SUPPRESSION CONTRACT. WIRED TO PANEL BY FIRE ALARM CONTRACTOR.
 - INSTALL NEW FIRE SUPPRESSION PIPING AND SPRINKLERS IN HALLWAY AS SHOWN. ALTERNATE SPACING FOR SPRINKLERS MAY BE USED PROVIDED THE SPRINKLERS ARE INSTALLED ACCORDING TO NFPA 13 AND THE SPRINKLER LISTING REQUIREMENTS.
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 - NEW FIRE SUPPRESSION PIPING SHALL BE ROUTED TO AVOID BLOCKING EXISTING ELECTRICAL JUNCTION BOXES.

05/31/2022



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FIRE SUPPRESSION
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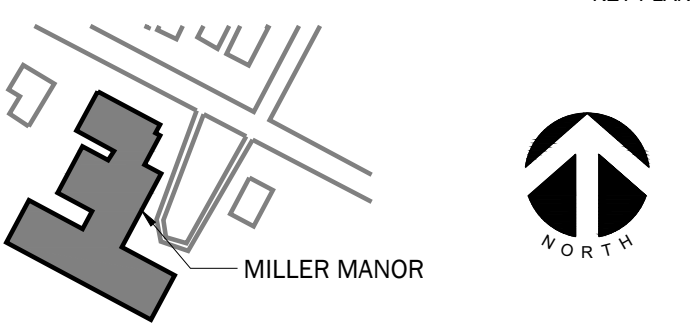
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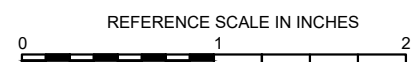
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SHEET INFORMATION

Issue	ADDENDUM #1
Date	05/31/2022
Job Number	22001233.00
Drawn	R. O'QUINN
Checked	D. NIETHAMMER
Approved	D. NIETHAMMER

SCHEDULES AND DETAILS

SCALE

SHEET NUMBER

F201

FIRE SPRINKLER USAGE SCHEDULE

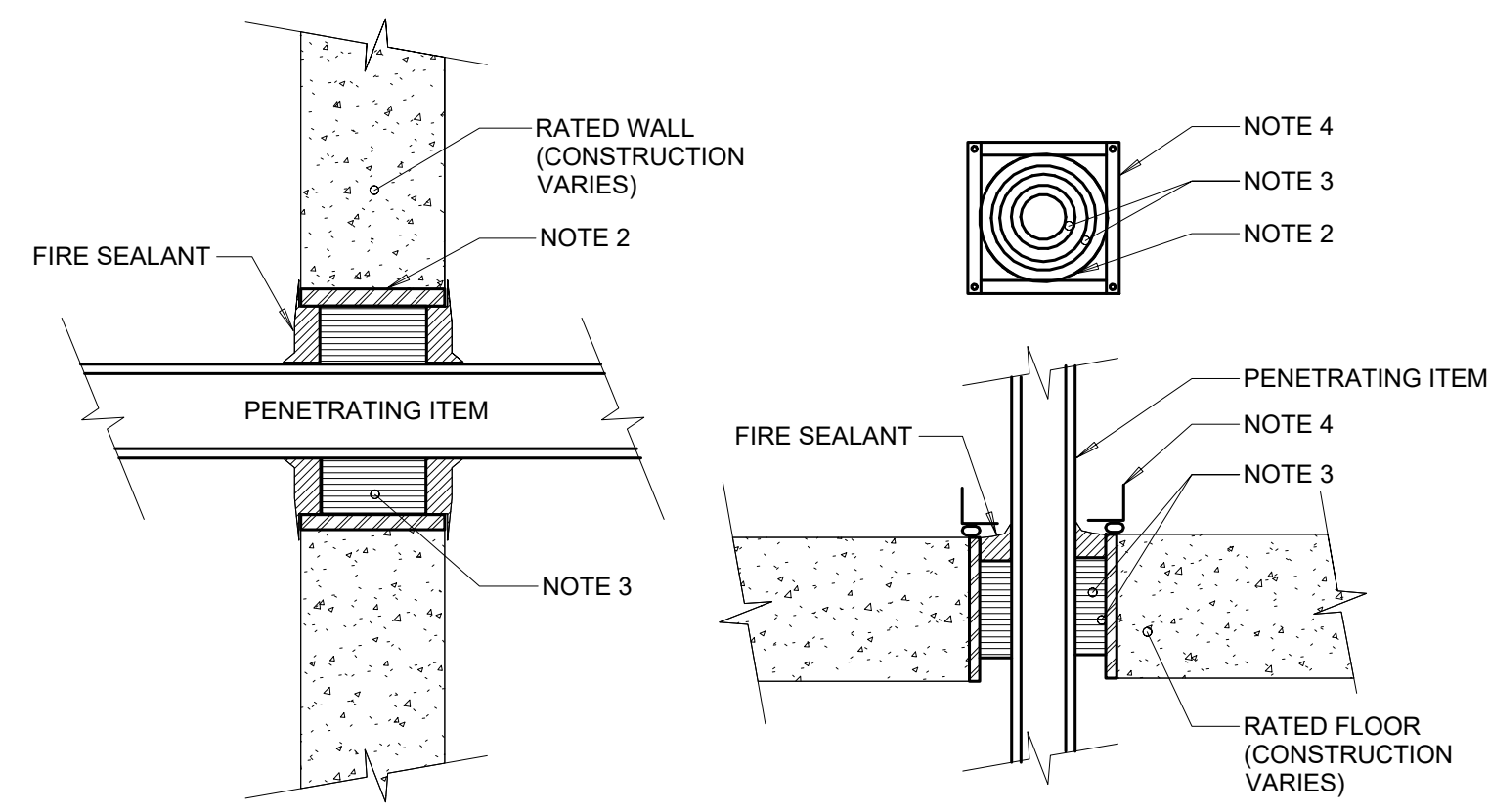
NOTES:
1. REFER TO FLOOR PLANS.
2. SPRINKLER SHALL HAVE COLOR CODED BULB THERMAL ELEMENT.
3. ALL SPRINKLERS SHALL BE UL LISTED.
4. CONTRACTOR TO VERIFY SPRINKLER REQUIREMENTS BASED ON ACTUAL INSTALLATION, USAGE, AND NFPA 13 REQUIREMENTS.
5. TAG NAME IS PRIMARILY FOR IDENTIFYING SPRINKLERS IN SUBMITTALS. IT MAY OR MAY NOT BE FOUND ELSEWHERE ON THE DRAWINGS. CONTRACTOR TO SUBMIT ALL SPRINKLER TYPES TO BE USED.
6. AREAS ARE GENERAL IN NATURE. CONTRACTOR TO MATCH UNSCHEDULED AREAS TO SIMILAR SPACES.
7. SPRINKLERS SPECIFIED WITHIN FIRE SPRINKLER USAGE SCHEDULE ARE STANDARD COVERAGE TYPE. EXTENDED COVERAGE SPRINKLERS ARE PERMITTED PROVIDED SPRINKLERS MEET THE REQUIREMENTS OF UL.
8. SPRINKLERS SHALL BE ORDINARY TEMPERATURE RATING UNLESS REQUIRED TO BE INTERMEDIATE OR HIGH TEMPERATURE DUE TO PROXIMITY TO HEAT SOURCE. REFER TO NFPA 13 REQUIREMENTS. CONTRACTOR SHALL REVIEW CONTRACT DRAWINGS IN FULL TO DETERMINE LOCATION OF HEAT SOURCES.

AREA TYPE (NOTE 1 & 6)	AREA HAZARD	SPRINKLER				TEMPERATURE RATING (NOTE 2)	MANUFACTURER	NOTES
		TAG NAME (NOTE 4 & 5)	SPRINKLER TYPE	RESPONSE CATEGORY	FINISH			
LIGHT HAZARD - EXPOSED STRUCTURE (ROOMS WITH NO CEILINGS, ETC.)	SEE PLANS	SPR-1	PENDENT	QUICK	ROUGH BRASS	ORDINARY	VIKING, RELIABLE, TYCO, VICTAULIC	NOTES 3, 7, 8
LIGHT HAZARD - EXPOSED STRUCTURE (ROOMS WITH NO CEILINGS, ETC.)	SEE PLANS	SPR-2	UPRIGHT	QUICK	ROUGH BRASS	ORDINARY	VIKING, RELIABLE, TYCO, VICTAULIC	NOTES 3, 7, 8
LIGHT HAZARD - ROOMS WITH DROP CEILINGS	SEE PLANS	SPR-3	FLUSH CONCEALED	QUICK	WHITE	ORDINARY	VIKING, RELIABLE, TYCO, VICTAULIC	NOTES 3, 7, 8
ORDINARY/EXTRA HAZARD - EXPOSED STRUCTURE (PARKING GARAGE, ROOMS WITH NO CEILINGS, ETC.)	SEE PLANS	SPR-4	PENDENT	STANDARD	ROUGH BRASS	ORDINARY	VIKING, RELIABLE, TYCO, VICTAULIC	NOTES 3, 7, 8
ORDINARY/EXTRA HAZARD - EXPOSED STRUCTURE (PARKING GARAGE, ROOMS WITH NO CEILINGS, ETC.)	SEE PLANS	SPR-5	UPRIGHT	STANDARD	ROUGH BRASS	ORDINARY	VIKING, RELIABLE, TYCO, VICTAULIC	NOTES 3, 7, 8
RESIDENTIAL UNITS, ADJOINING CORRIDORS	SEE PLANS	SPR-6	RESIDENTIAL FLUSH CONCEALED	RESIDENTIAL	WHITE	ORDINARY	VIKING, RELIABLE, TYCO, VICTAULIC	NOTES 3, 7, 8

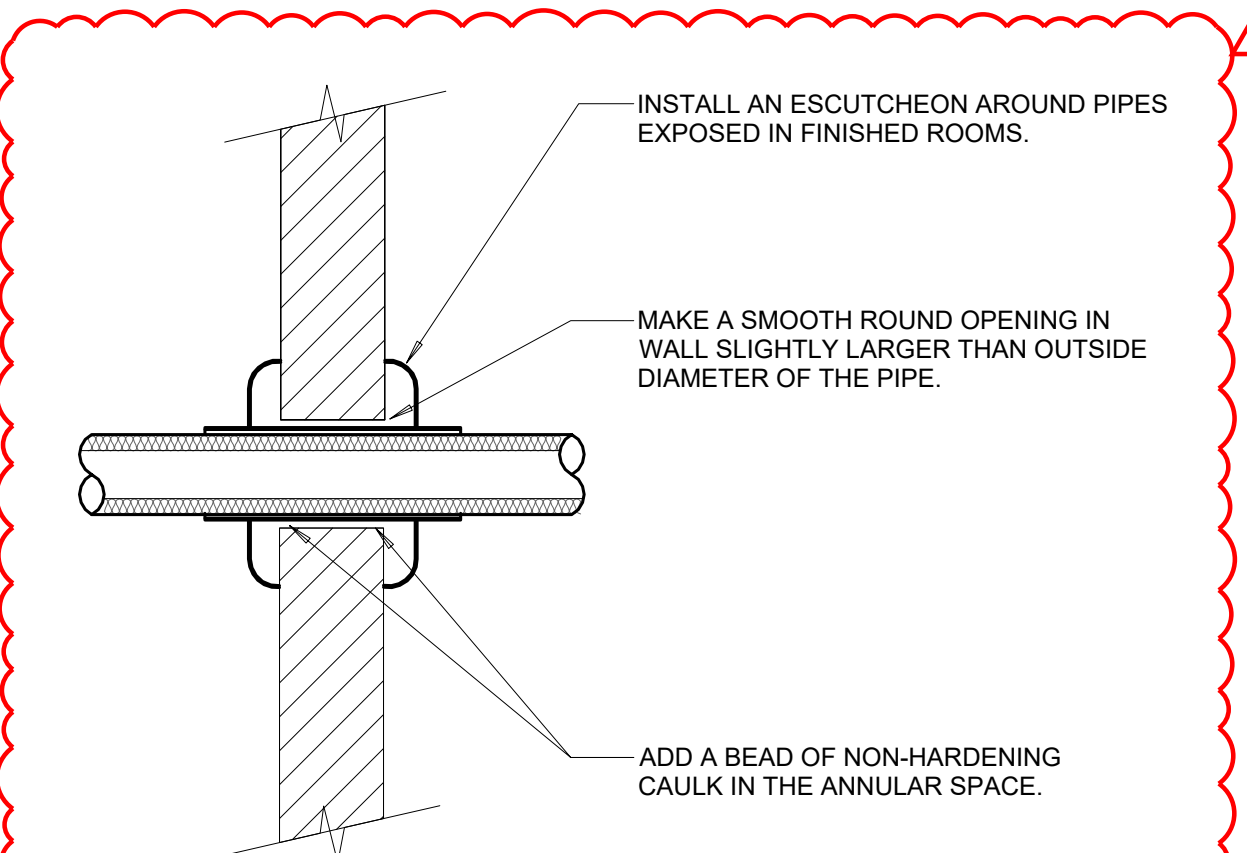
FIRE PROTECTION MATERIAL LIST

NOTES:
1. INSTALL AUTOMATIC AIR VENTS (AAV) AT TOP OF STANDPIPES AND FOR EACH SPRINKLER SYSTEM.
2. CONTRACTOR TO NOTIFY ENGINEER IF SUPPRESSION SYSTEM PRESSURE (STATIC AND PUMP CHURN) IS ABOVE 175 PSI.

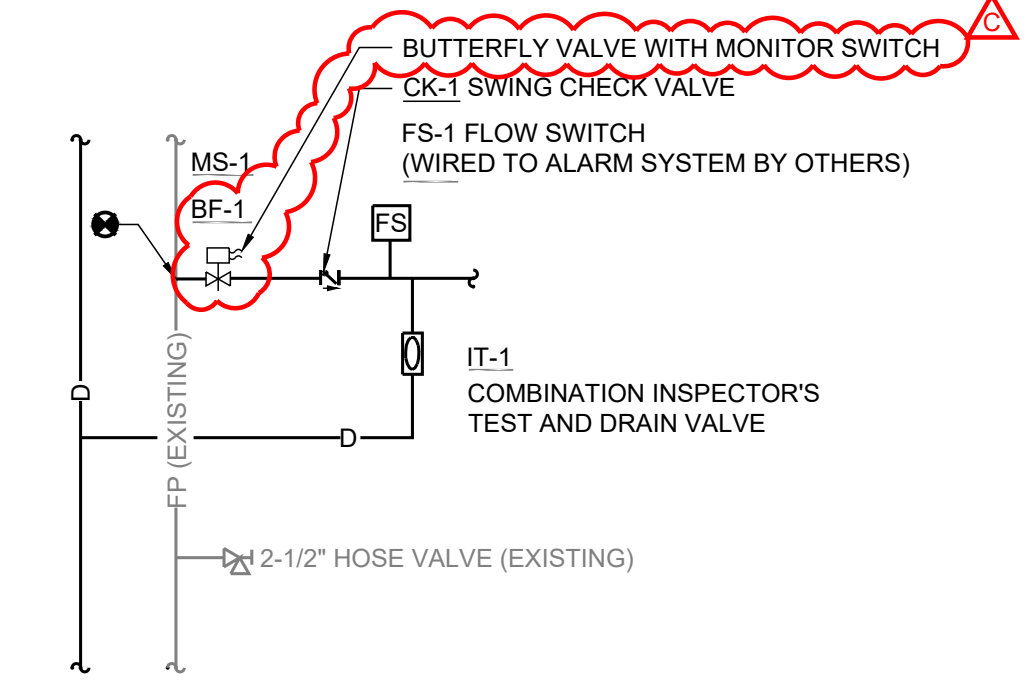
TAG NAME	DESCRIPTION	MANUFACTURER & MODEL	NOTES
AAV-1	AUTOMATIC AIR VENT, 175 PSI, CAST IRON BODY, STAINLESS STEEL ORIFICE, LINKAGE, AND FLOAT, CAST IRON VALVE COVER WITH GASKET, THREADED NPT INLET AND OUTLET, 1/2" BALL VALVE AND 1/2" STRAINER, UL/FM.	METRAFLEX MVC-15, POTTER PAV, AGF M7900AAV	NOTE 1
CK-1	SWING CHECK VALVE, 300 PSI WWP, GROOVED/FLANGED TYPE, DUCTILE IRON BODY, STAINLESS STEEL HINGE ASSOCIATED WITH RUBBER FACED CLAPPER, BRASS SEAT RING, ACCESS COVER, 1/2" OR 3/4" TAPPED BOSSES, VALVE LISTED FOR HORIZONTAL OR VERTICAL INSTALLATION, UL/FM. FLANGED TYPE IS ACCEPTABLE PROVIDED VALVE HAS THE FEATURES LISTED ABOVE.	VIKING G-1, TYCO CV-1F	NONE
FS-1	FLOW SWITCH - VANE TYPE, 450 PSI, FLOW SENSITIVITY OF 4-10 GPM, TWO SINGLE POLE DOUBLE THROW SWITCHES, PNEUMATIC RETARD ADJUSTABLE FROM 0-90 SECONDS WITH AUTOMATIC RESET, NEMA 4 INDOOR/OUTDOOR RATED METAL HOUSING, UL/FM.	POTTER VSR, SYSTEM SENSOR WFD	NONE
BF-1	INDICATING BUTTERFLY VALVE, NORMALLY OPEN, 175 PSI WWP, GROOVED TYPE, DUCTILE IRON BODY WITH PROTECTIVE COATING, ELECTROLESS NICKEL OR EPDM COATED DUCTILE IRON DISC, STAINLESS STEEL STEM AND SCREWS, CAST OR DUCTILE IRON HANDWHEEL, EPDM SEAT, INDICATOR FLAG, FACTORY MOUNTED INTEGRAL MONITOR SWITCHES, UL/FM. LUGGED OR WAFER VALVES ARE ACCEPTABLE PROVIDED THEY HAVE THE FEATURES LISTED ABOVE.	NIBCO GD-4765-8N, VICTAULIC SERIES 705, TYCO BFV-300, KENNEDY G300, GLOBE GLR300G, REL-BFG-300	NOTE 2
IT-1	COMBINATION INSPECTOR'S TEST AND DRAIN VALVE, 300 PSI, INTEGRAL SIGHT GLASS, BALL VALVE PLATE INDICATING OFF-TEST-DRAIN POSITIONS, FURNISHED WITH TEST ORIFICE GIVING FLOW EQUIVALENT TO ONE SPRINKLER OF A TYPE HAVING THE SMALLEST ORIFICE INSTALLED ON THE SYSTEM, PRESSURE RELIEF VALVE, UL/FM.	AGF M1011A, RELIABLE MODEL TD, VICTAULIC TESTMASTER, GLOBE UTD W/ MODEL ARV PRV	NONE



- NOTES:
- THIS GENERAL DETAIL APPLIES TO ALL ITEMS PENETRATING FIRE RATED WALLS OR FLOORS. THE INTENT IS TO MAINTAIN THE FIRE RATING AND TO ALLOW LONGITUDINAL MOVEMENT. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - PIPE SLEEVE IN WALL OR FLOOR, OR SMOOTH CORE DRILL, SMOOTH CORE DRILL, COORDINATE SLEEVE LOCATIONS, AND DEBUR SLEEVE. ALLOW NO GAP AROUND SLEEVE. SLEEVE SIZE SHALL ALLOW ANNULAR SPACE REQUIRED BY THE SELECTED FIRE STOP SYSTEM.
 - INSTALL BACKING MATERIAL, SUCH AS MINERAL WOOL SAVING, AS REQUIRED FOR FIRE STOP SYSTEM. INSTALL IN ACCORDANCE WITH FIRE STOP SYSTEM APPLICATION LISTING. SECURE TO WALL OR FLOOR TO ALLOW LONGITUDINAL MOVEMENT OF PENETRATING ITEM WITHOUT MOVEMENT OF FIRE BARRIER.
 - WATERTIGHT WELDED 1"x1" 20 GAUGE MINIMUM GALVANIZED SHEET METAL ANGLE FRAME, BY CONTRACTOR IN EQUIPMENT ROOMS FOR WATER STOP. PLACE A BEAD OF WATERPROOF SEALANT BETWEEN FLOOR AND BOTTOM OF ANGLE FRAME. SECURE TO FLOOR WITH MASONRY ANCHORS IN CORNERS AND ON 12" MAXIMUM CENTERS. MULTIPLE PENETRATING ITEMS MAY BE ENCLOSED IN ONE FRAME.



- NOTES:
- THIS DETAIL APPLIES TO ALL PIPES. THE INTENTION IS TO SEAL AIRTIGHT AROUND UNINSULATED PIPES FOR NOISE TRANSMISSION CONTROL.
 - FLOOR OPENINGS ARE SIMILAR.
 - REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION.



**COMBINATION
STANDPIPE/SPRINKLER SYSTEM
VALVE DETAIL**

1 FLOOR/WALL PENETRATION - RATED FIRE BARRIER
NO SCALE

2 WALL PENETRATION - NON-FIRE RATED
NO SCALE

3 COMBINATION STANDPIPE/SPRINKLER SYSTEM VALVE DETAIL
NO SCALE

05/31/2022

Report of Inspection/Test

Annual NFPA 25

2021-09-14

Property

Miller Manor

727 Miller

Ann Arbor MI

Tim Olivier

Print Date: 2021-09-14

Conducted by: Kalin Sellers

Arbor Inspection Services, LLC

3735 Plaza Drive

Ann Arbor MI 48108

734-761-8088

scott@arborinspections.com



Report of Inspection/Test General Questions

OWNER SECTION

Is the building currently occupied or vacant?

Occupied

Has the occupancy classification or hazard content remained the same since last inspection?

Yes

SPRINKLER HEADS

Is there a stocked spare head cabinet(s) with proper number/type of spare heads and wrench(s)? (Less than 300 requires minimum of 6, 300-1000 requires minimum of 12, over 1000 requires minimum of 24)

Yes

Do all visible sprinkler heads appear to be free of damage/foreign materials?

Yes

Are all standard response sprinkler heads less than 50 years old? If not, have those that are older than 50 years been successfully sample tested within the last 10 years as required?

Yes

Are all quick response sprinkler heads less than 20 years old? If not, have those that are older than 20 years been successfully sample tested within the last 10 years as required?

Yes

Have dry barrel sprinkler heads that are 10 years or older been successfully sample tested in the last 10 years as required?

N/A

Do all visible sprinkler heads appear to be free of manufacturers recall?

Yes

Do all visible sprinkler heads appear to be installed in their proper orientation?

Yes

Are all visible sprinkler heads properly adjusted with listed escutcheons in place?

Yes

Is there proper clearance below/around all visible sprinkler heads as required?

Yes

Are all visible standard response and quick response sprinkler heads properly separated?

Yes

Does the existing sprinkler coverage (within accessible and protected areas) appear to be adequate?

Yes

Are visible sprinkler heads in spray booth(s) properly protected from over spray as required?

N/A

Have sprinkler head(s) in spray booth(s)/duct(s) been properly inspected?

N/A

Are all visible sprinkler heads dated 1920 or later? All heads dated before 1920 must be replaced.

Yes

Are all sprinkler heads less than 75 years old, or if not, have they been tested/replaced in the last 5 years?

Yes

Are all sprinkler heads protected from harsh environments, or if not, have those that are exposed been tested/replaced in the last 5 years?

Yes

Report of Inspection/Test

Annual NFPA 25

2021-09-14

Property

Miller Manor

727 Miller

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Print Date: 2021-09-14

Conducted by: Kalin Sellers

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Report of Inspection/Test for System - Wet Standpipe System

BACKFLOW PREVENTERS

Is the underground supply shared with the domestic water supply or separate?	Separate	Riser/backflow area appears to be properly heated with permanent heat source?	Yes
Has the main backflow device been tested within the last 12 months as required?	Yes	Has the meter bypass backflow device been tested within the last 12 months as required?	N/A

FIRE DEPARTMENT CONNECTION

Is the FDC properly identified by signage and visible/accessible as required?	Yes	Does the FDC appear to be free of damage/debris and are caps/plugs in place as required?	Yes
Is there a properly installed ball drip on the FDC as required?	Yes	Has the FDC piping been hydro-statically tested in the last 5 years as required?	Yes

PIPES

Type of piping installed?	Steel	Does all visible piping appear to be in good condition, properly supported and free from external loads?	Yes
Has an internal visual inspection of piping been performed in the last 5 years as required?	Yes		

FIRE ALARM PANEL

Is the fire alarm panel clear upon arrival?	Yes	Is the fire alarm monitored?	Yes
Did the panel report all activations as required?	Yes	Is the fire alarm panel clear upon departure?	No
Did the local audible/visual signal(s) operate?	Yes		

RISER

Is there a legible hydraulic calculation posted on this riser?	N/A	Is the main drain valve properly sized/installed and separated from the gauge as required?	Yes
Are gauge(s) in good condition and less than 5 years old? Replacement required every 5 years.	Yes	Riser area appears to be properly heated with a permanent heat source?	Yes

Report of Inspection/Test for System - Wet Trash/Storage Room

BACKFLOW PREVENTERS

Is the underground supply shared with the domestic water supply or separate?	Separate	Riser/backflow area appears to be properly heated with permanent heat source?	Yes
Has the main backflow device been tested within the last 12 months as required?	N/A	Has the meter bypass backflow device been tested within the last 12 months as required?	N/A

FIRE DEPARTMENT CONNECTION

Is the FDC properly identified by signage and visible/accessible as required?	N/A	Does the FDC appear to be free of damage/debris and are caps/plugs in place as required?	N/A
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Report of Inspection/Test

Annual NFPA 25

2021-09-14

Property

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Is there a properly installed ball drip on the FDC as required?

N/A

Has the FDC piping been hydro-statically tested in the last 5 years as required?

N/A

PIPES

Type of piping installed?

Steel

Does all visible piping appear to be in good condition, properly supported and free from external loads?

Yes

Has an internal visual inspection of piping been performed in the last 5 years as required?

Yes

FIRE ALARM PANEL

Is the fire alarm panel clear upon arrival?

Yes

Is the fire alarm monitored?

Yes

Did the panel report all activations as required?

Yes

Is the fire alarm panel clear upon departure?

Yes

Did the local audible/visual signal(s) operate?

Yes

RISER

Is there a legible hydraulic calculation posted on this riser?

N/A

Is the main drain valve properly sized/installed and separated from the gauge as required?

Yes

Are gauge(s) in good condition and less than 5 years old? Replacement required every 5 years.

N/A

Riser area appears to be properly heated with a permanent heat source?

Yes

Report of Inspection/Test for System - Wet Trash Chute

BACKFLOW PREVENTERS

Is the underground supply shared with the domestic water supply or separate?

Separate

Riser/backflow area appears to be properly heated with permanent heat source?

Yes

Has the main backflow device been tested within the last 12 months as required?

N/A

Has the meter bypass backflow device been tested within the last 12 months as required?

N/A

FIRE DEPARTMENT CONNECTION

Is the FDC properly identified by signage and visible/accessible as required?

N/A

Does the FDC appear to be free of damage/debris and are caps/plugs in place as required?

N/A

Is there a properly installed ball drip on the FDC as required?

N/A

Has the FDC piping been hydro-statically tested in the last 5 years as required?

N/A

PIPES

Type of piping installed?

Steel

Does all visible piping appear to be in good condition, properly supported and free from external loads?

Yes

Has an internal visual inspection of piping been performed in the last 5 years as required?

Yes

FIRE ALARM PANEL

Is the fire alarm panel clear upon arrival?

Yes

Is the fire alarm monitored?

Yes

Did the panel report all activations as required?

Yes

Is the fire alarm panel clear upon departure?

Yes

Report of Inspection/Test

Annual NFPA 25

2021-09-14

Property

Miller Manor

727 Miller

Ann Arbor MI

Tim Olivier

Print Date: 2021-09-14

Conducted by: Kalin Sellers

Arbor Inspection Services, LLC

3735 Plaza Drive

Ann Arbor MI 48108

734-761-8088

scott@arborinspections.com



Did the local audible/visual signal(s) operate? Yes

RISER

Is there a legible hydraulic calculation posted on this riser? N/A

Is the main drain valve properly sized/installed and separated from the gauge as required? Yes

Are gauge(s) in good condition and less than 5 years old? Replacement required every 5 years. N/A

Riser area appears to be properly heated with a permanent heat source? Yes

Report of Inspection/Test for System - Wet Boiler Room

BACKFLOW PREVENTERS

Is the underground supply shared with the domestic water supply or separate? Separate

Riser/backflow area appears to be properly heated with permanent heat source? Yes

Has the main backflow device been tested within the last 12 months as required? N/A

Has the meter bypass backflow device been tested within the last 12 months as required? N/A

FIRE DEPARTMENT CONNECTION

Is the FDC properly identified by signage and visible/accessible as required? N/A

Does the FDC appear to be free of damage/debris and are caps/plugs in place as required? N/A

Is there a properly installed ball drip on the FDC as required? N/A

Has the FDC piping been hydro-statically tested in the last 5 years as required? N/A

PIPES

Type of piping installed? Steel

Does all visible piping appear to be in good condition, properly supported and free from external loads? Yes

Has an internal visual inspection of piping been performed in the last 5 years as required? Yes

FIRE ALARM PANEL

Is the fire alarm panel clear upon arrival? Yes

Is the fire alarm monitored? Yes

Did the panel report all activations as required? Yes

Is the fire alarm panel clear upon departure? Yes

Did the local audible/visual signal(s) operate? Yes

RISER

Is there a legible hydraulic calculation posted on this riser? N/A

Is the main drain valve properly sized/installed and separated from the gauge as required? Yes

Are gauge(s) in good condition and less than 5 years old? Replacement required every 5 years. N/A

Riser area appears to be properly heated with a permanent heat source? Yes

Report of Inspection/Test for Asset - Electric Fire Pump

MISCELLANEOUS

Fire pump house/area appears to be properly heated with a permanent heat source? Yes

Was power to both fire pump and jockey pump on upon arrival? Yes

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Do both fire pump and jockey pump operate?	Yes	Record jockey pump start pressure (psi)	90
Record fire pump start pressure (psi)	84	Are the suction and discharge gauges in good condition and not more than 5 years old? Replacement required every 5 years.	Yes
Has a full flow test been performed in the last 12 months as required? If yes, see separate report for results.	Yes		

Report of Inspection/Test for Asset - Standpipe South Stair

OWNER SECTION

Record the number of 1.5" hose valves	N/A		
---------------------------------------	-----	--	--

INSPECTION

Do all hose valves and/or hose stations appear to be properly accessible as required?	Yes	Are all hoses in place, properly racked and appear to be in good visual condition?	N/A
Record the number of 1.5" fire hoses	N/A	Have all accessible 1.5" fire hoses been tested/tagged in the last 12 months as required?	N/A
Do all hose valves (1.5" and 2.5") appear to be in good visual condition and properly installed?	Yes	Record the number of 2.5" hose valves	8
Has the standpipe been tested within the last 5 years as required?	Yes		

HOSE VALVES - Standpipe South Stair

Location	Has PRV	Good Condition	PSI	Exercised	Notes
4th Floor	N/A	Yes		N/A	
6th Floor	N/A	Yes		N/A	
3rd Floor	N/A	Yes		N/A	
5th Floor	N/A	Yes		N/A	
8th Floor	N/A	Yes		N/A	
2nd Floor	N/A	Yes		N/A	
1st Floor	N/A	Yes		N/A	
7th Floor	N/A	Yes		N/A	

Report of Inspection/Test for Asset - Standpipe North Stair

OWNER SECTION

Record the number of 1.5" hose valves	N/A		
---------------------------------------	-----	--	--

INSPECTION

Report of Inspection/Test

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Do all hose valves and/or hose stations appear to be properly accessible as required?	Yes	Are all hoses in place, properly racked and appear to be in good visual condition?	N/A
Record the number of 1.5" fire hoses	N/A	Have all accessible 1.5" fire hoses been tested/tagged in the last 12 months as required?	N/A
Do all hose valves (1.5" and 2.5") appear to be in good visual condition and properly installed?	Yes	Record the number of 2.5" hose valves	7
Has the standpipe been tested within the last 5 years as required?	Yes		

HOSE VALVES - Standpipe North Stair

Location	Has PRV	Good Condition	PSI	Exercised	Notes
7th Floor	N/A	Yes		N/A	
4th Floor	N/A	Yes		N/A	
6th Floor	N/A	Yes		N/A	
1st Floor	N/A	Yes		N/A	
2nd Floor	N/A	Yes		N/A	
5th Floor	N/A	Yes		N/A	
3rd Floor	N/A	Yes		N/A	

MAIN DRAIN FLOW TESTS

System	Initial static	Residual	Static	Seconds to Return to Initial Static	Flow Observed?
Wet Standpipe System	108	72	78	2	Yes
Wet Trash/Storage Room	N/A	N/A	N/A	N/A	Yes
Wet Trash Chute	N/A	N/A	N/A	N/A	Yes
Wet Boiler Room	N/A	N/A	N/A	N/A	Yes

INSPECTORS TEST CONNECTION

System	Location	Description	Time to Alarm (seconds)	Reported?	Smooth Orifice	Easily Accessible	Signs?	Pass?
Wet Trash/Storage Room	Trash room	1.25" globe	Under 60	Yes	Yes	Yes	Yes	Yes
Wet Trash Chute	Trash room	1" globe	Under 60	Yes	Yes	Yes	Yes	Yes
	Office Break Room	1" Ball ITV	Under 60	Yes	Yes	Yes	Yes	Yes

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VALVES

System	Description	Location	Valve Type	Size	Secured	Open	Easily Accessible	Signs	Exercised	Stems Lubricated	Flow Pass	Tamper Pass
Wet Trash/Storage Room	Control valve	Trash room	Butterfly	2-1/2 "	Sealed /Tampered	Yes	Yes	Yes	Yes	N/A	N/A	N/A
Wet Boiler Room	Control valve	1st Floor S. Stair	OS&Y	2 "	Sealed /Tampered	Yes	Yes	Yes	Yes	Yes	N/A	N/A
Wet Standpipe System	City 1	Pump room	OS&Y	6 "	Monitored And Locked	Yes	Yes	Yes	Yes	Yes	N/A	Pass
Wet Standpipe System	Bypass 1	Pump room	OS&Y	6 "	Monitored	Yes	Yes	Yes	Yes	Yes	N/A	Pass
Wet Trash/Storage Room	Riser check	Trash room	Check Valve	2-1/2 "	Not Applicable	N/A	Yes	N/A	N/A	N/A	N/A	N/A
Wet Standpipe System	Discharge	Pump room	OS&Y	6 "	Monitored	Yes	Yes	Yes	Yes	Yes	N/A	Pass
Wet Standpipe System	Header	Pump room	Butterfly	6 "	Monitored And Locked	Yes	Yes	Yes	Yes	Yes	N/A	Pass
	Standpipe	1st floor S. Stair	OS&Y	6 "	Locked	Yes	Yes	Yes	Yes	No	N/A	N/A
	Standpipe	1st floor N. Stair	OS&Y	6 "	Sealed /Tampered	Yes	Yes	Yes	Yes	No	N/A	N/A

DRAIN VALVES

System	Description	Location	Drain	Aux Drain Drained	Water Flow Observed
Wet Standpipe System	Main drain	Pump room	Ball Valve	N/A	Yes

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Questions with Photos and Notes

- Does the existing sprinkler coverage (within accessible and protected areas) appear to be adequate?

Yes

Notes:

Coverage limited to trash chute, trash room, compactor room, boiler room, and main office area only.

Report of Inspection/Test

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Deficiencies - Wet Standpipe System

Is the fire alarm panel clear upon departure?

No

Notes:

The panel read a 2nd floor smoke/pull trouble at departure.



Deficiencies - Valves

Location: 1st floor S. Stair

Description: Standpipe

Stems Lubricated?

No

Notes:

The OS&Y is difficult to exercise. Lubricant was applied during the inspection.

Report of Inspection/Test

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**Arbor Inspection
Services, LLC**

Location: 1st floor N. Stair

Description: Standpipe

Stems Lubricated?

No

Notes:

The OS&Y is difficult to exercise. Lubricant was applied during the inspection.



Report of Inspection/Test

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Inspector Signature

I state that the information on this form is correct at the time and place of my inspection, and all equipment tested at this time was left in operational condition upon completion of this inspection except as noted.

Inspector Name	Signature	Date Completed
Kalin Sellers		2021-09-14

Client Signature

CUSTOMER RESPONSIBILITIES - Customer shall be responsible for maintaining adequate heat throughout the facility to prevent freezing or damage to the existing fire protection systems. Customer understands and expressly acknowledges that fire protection systems are susceptible to damage by water intrusion, ice, or other conditions inside the piping that Arbor Inspection Services (Company) cannot detect upon inspection. In the event that water, ice, or other conditions occur which render the fire protection system inoperable or damaged, Company expressly disclaims any responsibility for such conditions, and assumes no responsibility to investigate the cause, source or extent of such condition. Customer acknowledges this warning, and acknowledges that under NFPA and other applicable codes and regulations, it is the responsibility of the Customer to maintain its fire protection system, including but not limited to ensuring proper drainage. Failure to properly maintain or drain such systems may lead to breaks or other conditions that may render the fire protection system inoperable, or that damage to the system may result in injury, damage to property and loss of use. INTENT OF INSPECTION - This inspection/testing is not intended to be a code review, a system or code compliance evaluation, a occupancy/hazard of contents survey or to provide maintenance. INSPECTION WARRANTY DISCLAIMER - This inspection is not a guarantee or warranty that the system will in all cases provide the level of protection for which it was originally intended, is free of all defects and deficiencies, or is in compliance with all applicable codes. Customer agrees that it has not retained Company to make these assessments unless otherwise specifically indicated.

Client Name	Signature	Date Completed
Eric Sexton		2021-09-14

WATER FLOW TEST REPORT

HYDRANT # LOCATION: **02-01780 727 Miller** DATE: **5/13/2022**

TEST BY: **Arbor Inspection/AAFL** Day or Week: **Friday** TIME OF DAY: **10:00** MIN. OF FLOW: **5**

WATER SUPPLIED BY: **Municipal**

PURPOSE OF TEST: **REQUEST BY: Arbor Inspection Services**

DATA

FLOW HYDRANT(S)	02-02798	02-02798	02-02798
SIZE OPENING:	2.5	2.5	
COEFFICIENT:	0.9	0.9	
PITOT READING:	35	37	
GPM:	993	1021	0

TOTAL FLOW DURING TEST: **2013** GPM

STATIC READING: **63** PSI

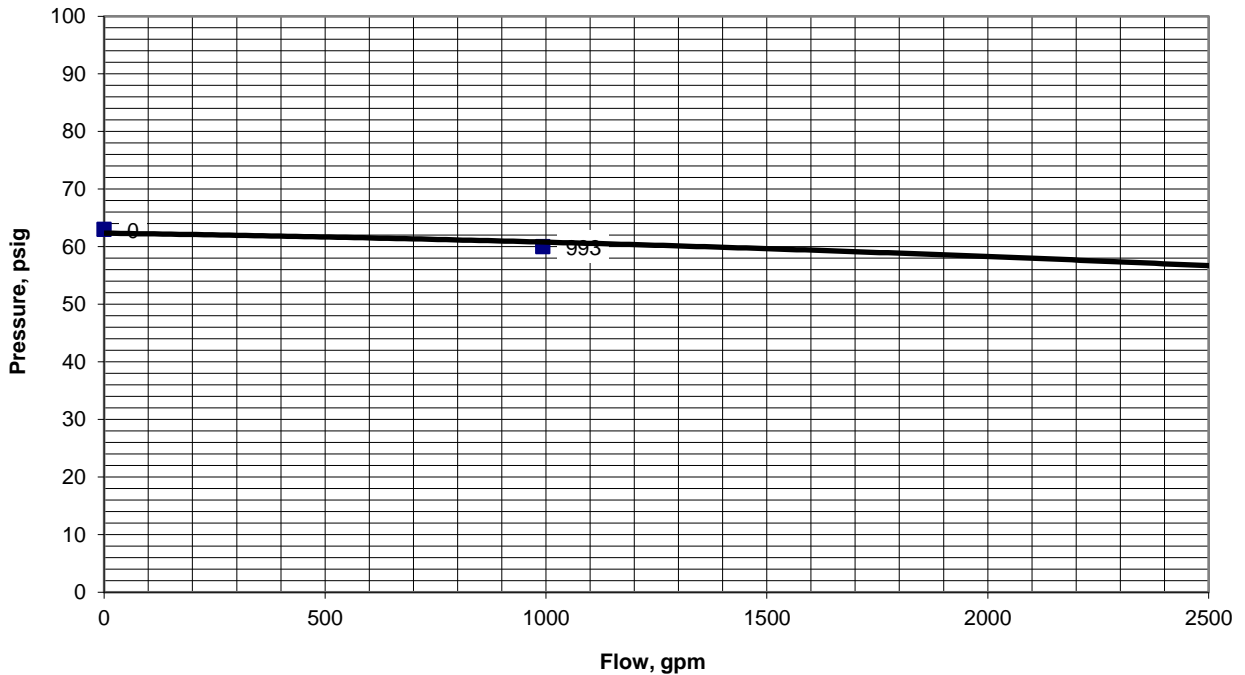
RESIDUAL: **60** PSI

RESULTS: AT 20 PSI RESIDUAL **8479** GPM

AT 0 PSI **10421** GPM

ESTIMATED CONSUMPTION: **10067** GAL.

REMARKS:



SHERWIN-WILLIAMS 701309
734-242-2322

02/12/22
Order# 0250961

INTERIOR
PROMAR 200 ZERO VOC
EG-SHEL

ARCHITECTURAL
LATEX
IFC 8112NP

AA HC WESTSIDE UNIT
CUSTOM MANUAL MATCH

CCE*COLORANT	0Z	32	64	128
B1-Black	-	4	-	-
R2-Maroon	-	-	1	-
Y3-Deep Gold	-	9	-	-

ONE GALLON
B20W12651

EXTRA WHITE
650865017

SURFACE NOT SUPPLIED

Non Returnable Tinted Color

CAUTION: To assure consistent color, always order enough paint to complete the job and intermix all containers of the same color before application. Mixed colors may vary slightly from color strip or color chip.



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